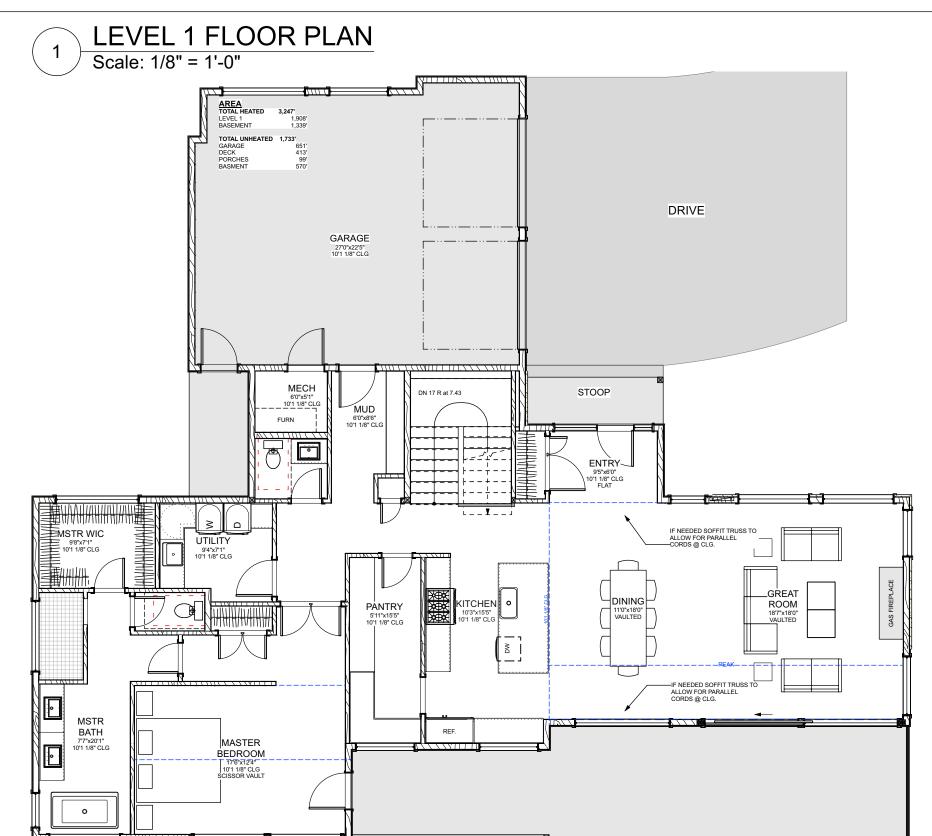
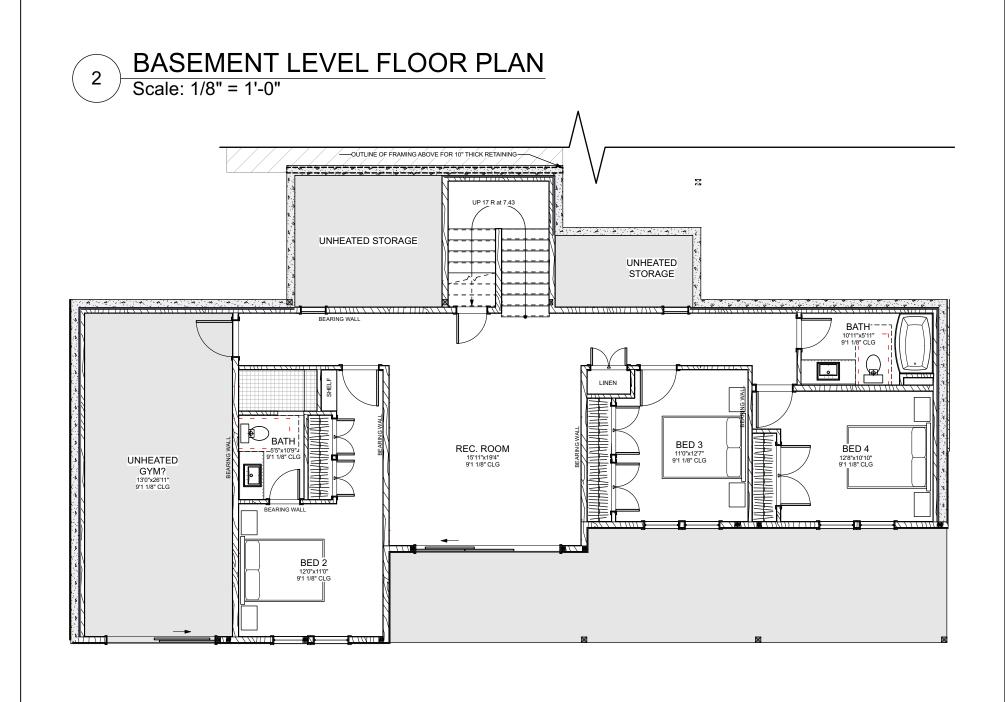
# ECOLA POINT - LOT 8







## Scale: 1" = 20'-0" MONICA COURT STREET SIDE YARD 15'-0' GARAGE -NE CORNER GRADE 68.5' STREET SIDE YARD MAIN LÉVEL LOT 8 SE CORNER GRADE 59.8'~ -SW CORNER GRADE 60.0' BACK YARD

# **GENERAL NOTES**

- 1. COORDINATION OF TRADES AND SYSTEMS: Contractor shall coordinate all trades to provide complete working systems
- 2. DISCREPANCIES: Drawings of existing facilities are, in general, diagrammatic. Exact locations shall be determined by the Contractor from field measurements taken by Contractor's personnel. Actual arrangement of the work shall follow locations shown on the drawings within the constraints of existing equipment and construction. Dimensions shall govern these drawings and they are not to be scaled.

Drawing and notes to drawings are correlative and have equal authority and priority should there be any descrepancies in themselves or between them, home designer Mike Blondino is to be notified before construction continues (360-513-4794)

Contract shall base bid pricing on the most expensive combination of quality and/or quantity of the work indicated. In the event of descrepancies, the appropriate method of performing the work and/or items to be incorporated into the scope of the work shall be determined by the contractor in collaboration with Blondino Design and/or engineer.

- SITE MEASURING AND VERIFICATION: The builder is to require site verification of dimensions and sizing of all door and window rough openings per final selections prior to ordering product, off of the window and door provider specifications.
- 4. CONTRACTOR AND EMPLOYEES: Contractor is responsible for the safety, actions and conduct of his employees and his subcontractors' employees while in the project area, adjacent areas and in the building and its vicinity.
- 5. INSTALLATION SPECIFICATIONS: All materials, finishes, manufactured items, and equipment shall be installed in full accordance with the supplier's or manufacturer's written recommendations or these documents, whichever is more stringent.
- 6. MILLWORK AND FINISHES: Any elements of millwork, flooring and room finishes not listed are to be determined by contractor and owner. All aspects of finish information and specifications noted in these plans needs to be provided by and reviewed by, the owner and/or contractor.
- 7. DIMENSIONS: All dimensions are to face of stud where shown or to center of stud where shown. Dimension constraints are clearly visible. If any dimensions are not clear, please contact Designer, Mike Blondino (360-513-4794) for clarifaction.
- 8. LIMIT AND SCOPE: Blondino Design Inc. has been retained in a limited capacity for this project. Architectural drawings and information produced by Blondino Design Inc, are based upon information provided by the client prior to submission to engineering and prior to submission to the governining municipality wherein this structure is to be built. These plans are to bn reviewed by the Contractor prior to construction and any conflicts are to be clarified by Blondino Design Inc. in advance of construction. No responsibility and/or liability is assumed by, or is to be assigned to Blondino Design Inc. for items beyond that shown on the architectural sheets.
- 9. PLUMBING FINISHES: All plumbing fixtures shown are for location and quanity only. Final fixture selections to be determined by Contractor and owner unless noted on approved finish schedule herein. Modifications to specified plumbing conflicts created by said modifications are the sole responsibility of the contractor and owner.
- 10.All cabinets and counter materials shown are diagrammatic in nature and are subject to final approval by the owner and/or contractor. They exist in these plans to represent recommended locations for cabinets and counters. Final material and dimensions as well as specific product selection, unless specifically noted in these plans are to be determined by the contractor with the owner and the respective suppliers.
- 11. CODES: All work described by these documents shall be performed in full accordance with the latest version of:

Oregon Residential Specialty Code

Oregon Electrical Specialty Code

Oregon Plumbing Specialty Code

Oregon Fire Code

All codes above are to be followed where applicable in these plans and according to the municipality in which this structure is to be constructed. Moreover, all local codes for barrier free accessibilty, environmental impact and state energy codes as required by the municipality in which this home is constructed.

### PROJECT INFORMATION

Jeff Haggart Address: 9720 SW Hillman Ct Suite 815 Wilsonville, OR 97070

Monica Ct Lot 8, Cannon Beach, OR 97110 Site Address: Taxlot: 51020BC00508 Ecola Point Subdivision 8 Legal:

Contractor: Haggart Luxury Homes

Contact: Jeff Haggart (503)654-2030 / (503)793-4131 Jeff@haggarthomes.com

Orem, UT 84097

Acute Engineering, Inc. Engineer: Contact: Brandon Decker 1429 S. State St

> (801) 229-9020 brandon@acuteengineering.com

Designer Blondino Design, INC. Contact: Mike Blondino

> 1719 NW 43RD AVE Camas, WA 98607 (360) 513-4794 m.blondino@blondinodesign.com

#### **SITE INFORMATION**

Cannon Beach, Clatsop County, OR Municipality: Zoning: Waste:

Water: Climate Zone: 4 C (MARINE) Elevation: 72'0" ASL FOF LEVEL 1

O.A. HT: 17'11 1/2" (SEE ELEVATIONS FOR AVERAGE HT ABOVE GRADE)

Width: 63'7" Depth: Bedrooms: Full Baths: Powder Baths:

Area: TOTAL HEATED 3,247 SQFT 1,908 SQFT 1,339 SQFT BSMT -

BSMT SPACES

TOTAL UNHEATED 1,733 SQFT GARAGE -651 SQFT DECK -413 SQFT PORCHES -99 SQFT

**570 SQFT** 

### **ABBREVIATIONS**

Carpet

Casement

Courtyard

Diameter

Door

Each

Dimension

**Dimensions** 

Down Spout

**Expansion Joint** 

Drawing

Double

Ceramic Tile

Double Hung

**Demolish or Demolition** 

@

AFF

ALUM

**ANOD** 

AWN

**BIPT** 

**BSMT** 

**BYND** 

BOT

CIP

CJ

CLG

CLR

CMU

COL

COMPR

CONC

CONT

CPT

CSMT

CTYD

DBL

DEG

DEMO

DH

DIA

DIM

DIMS

DN

DR

DWG

EΑ

EJ

EL

**ELEV** 

GYP

HI

HP

ILO

LO

MO

CT

CHNL

EP8 09.13.23 FINAL.vwx **Acoustic Ceiling Tile** SUBMISSION DATE: Area Drain 09.13.23 Above Finished Floor Aluminum SHEET SIZE: Anodized ARCH D - 36X24 **Awning Window** BI-Part swinging door Beyond

# SHEET DIRECTORY

Bottom COVER SHEET Cast In Place Channel **ELEVATIONS** Control Joint **ELEVATIONS** Concrete Masonry Unit LEVEL 1 FLOOR PLAN Compressible **BASEMENT PLAN** Continuous

FND **ROOF** A-04

LEVEL 1 FLOOR FRAMING **SECTIONS** A-06 DETAILS DETAILS DETAILS

LOT ELEVATIONS

Elevation Electrical Elevator or Elevation Ethylene Propylene Diene M-Class (Roofing)

**EPDM** EPS Polystyrene EQ Equal EWWM Electronic Welded Wire Mesh

**EXIST** Existing **EXP JT Expansion Joint** EXT FD

Floor Drain or Fire Department FIXT FLR Floor FO Face Of

FOF Face Of Floor **FOFF** Face Of Finished Floor FND Foundation GΑ Gauge GALV

Galvanized **GWB** Gypsum Wall Board Gypsum Board

Hopper Window High Point Heating, Ventilating, And Air Conditioning HVAC **IRGWB** 

Impact Resistant Gypsum Wall Board In Lieu Of Insulated or Insulation

INSUL Interior Low MAX Maximum **Masonry Opening** MECH Mechanical

**MEMBR** Membrane MIN Minimum MRGW Moisture-Resistant Gypsum Wall Board

MTL NIC Not In Contract NO Number NOF Nail On Flashing

NOM Nominal OC On Center PCC **Pre-Cast Concrete** PKT **Pocket Door** PLUMB Plumbing

PLYD Plywood  $\mathsf{PL}$ Plate PT **Pressure Treated** PNT Paint or Painted

PVC Polyvinyl Chloride RCP Reflected Ceiling Plan RD Roof Drain REQD Required RMRoom

SAF Self Adhered Flashing SD Smoke Detector SH Single Hung SIM SPEC Specified OR Specification

SPF Sprayed Polyurethane Foam SPK Sprinkler or Speaker SSTL Stainless Steel STRUCT Structure or Structural T&G **Tongue And Groove** 

TBD To Be Determined TELE Telephone TO TOC Top Of Concrete TPD **Toilet Paper Dispenser** T/D

Telephone/Data TYP Typical UNO **Unless Noted Otherwise** U/S Underside Verify In Field VIF

W/C Water Closet (toilet) Walk In Closet

## **COVER SHEET**

A-00

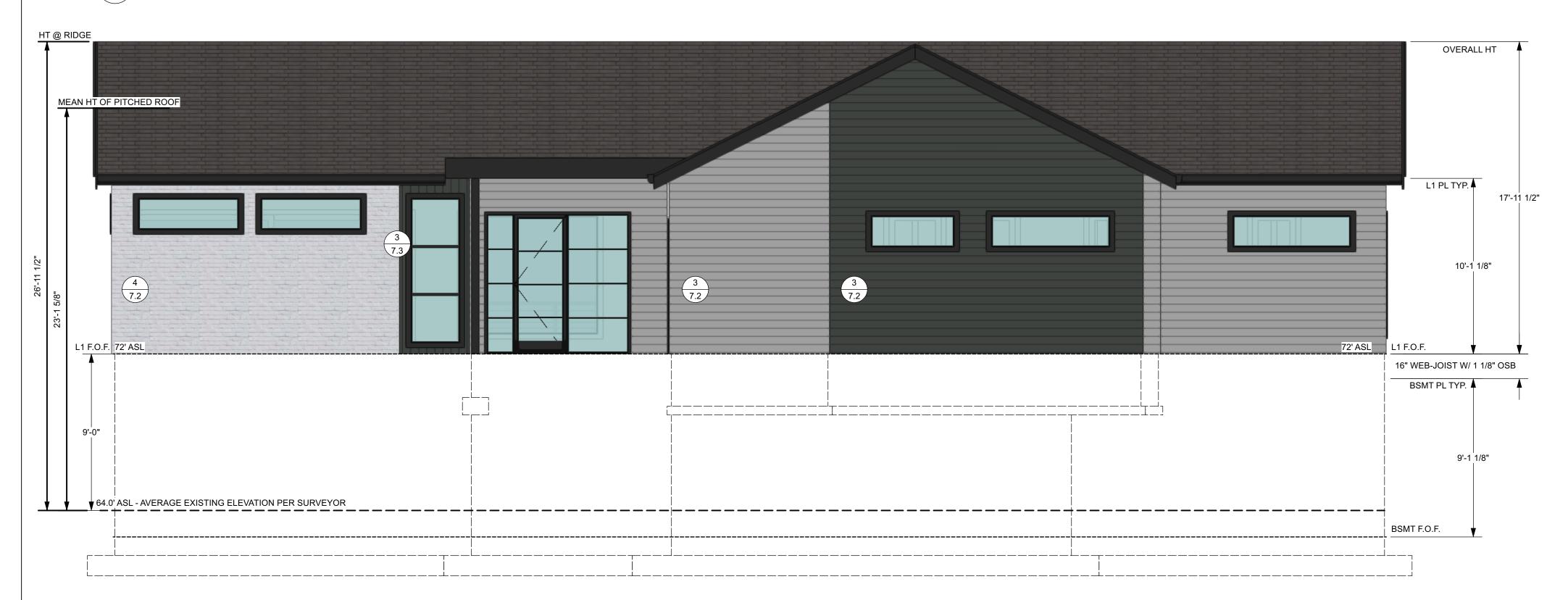
Scale: AS NOTED



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# 1 FRONT ELEVATION Scale: 1/4" = 1'-0"



# BACK ELEVATION Scale: 1/4" = 1'-0"



ELEVATION NOTES

1. SEE ROOF PLAN FOR ROOF PITCHES NOT SPECIFIED.

#### ROOFING

- ARCHITECTURAL COMPOSITION ASPHALT SHINGLES OR EQUIVALENT ON ALL ROOF SURFACES.

#### SIDING

- HARDIE ASPYRE 9" SHIPLAP OR EUIV.

- STONE VENEER SIDING

- 5/4 X 4 WINDOW AND DOOR TRIM. - 5/4 X 4 CORNER BOARDS
- 2X8 FASCIA BOARD BEHIND ALL GUTTERS - 2X8 BARGE RAFTERS
- 3. INFORMATION SHOWN ON THIS PAGE AND THROUGHOUT THIS DOCUMENT ARE SUBJECT TO ENGINEERING AND

MANUFACTURER SPECIFICATIONS. REFER TO ENGINEERING

4. WINDOWS AND DOORS - REFER TO ROUGH OPENING AND SASH OPERATION ON FLOOR PLAN PAGES

OVERALL HT PER CODE (PER 17.10.040 E)

FOR STRUCTURAL SPECIFICATIONS.

#### AVERAGE NATIVE ELEVATION AT ALL CORNERS AS NOTED ON PLOT: <u>64.0' A.S.L.</u>

HT @ RIDGE: 26'11 1/2"

MEAN HT OF PITCHED ROOF FROM EAVES: 23'1 5/8"

17.10.040 E: BUILDING HEIGHT. MAXIMUM HEIGHT OF A VERTICAL STRUCTURE IS TWENTY-FOUR FEET, MEASURED AS THE VERTICAL DISTANCE FROM THE AVERAGE ELEVATION OF EXISTING GRADE TO THE HIGHEST POINT OF A ROOF SURFACE OF A FLAT ROOF, TO THE TOP OF A MANSARD ROOF OR TO THE MEAN HEIGHT LEVEL BETWEEN THE EAVES AND THE RIDGE FOR A PITCHED ROOF. THE RIDGE HEIGHT OF A PITCHED ROOF SHALL NOT EXCEED TWENTY-EIGHT FEET. PITCHED ROOFS ARE CONSIDERED THOSE WITH A 5-12 PITCH OR GREATER.

EP8 09.13.23 FINAL.vwx

VERSION:

FINAL SUBMISSION DATE:

SHEET SIZE: ARCH D - 36X24

09.13.23

#### SHEET DIRECTORY

SHELLDINECTORI		
A-00	COVER SHEET	
A-01.1	ELEVATIONS	
A-01.2	ELEVATIONS	
A-02.1	LEVEL 1 FLOOR PLAN	
A-02.2	BASEMENT PLAN	
A-03	FND	
A-04	ROOF	
A-05	LEVEL 1 FLOOR FRAMING	
A-06	SECTIONS	
A-07.1	DETAILS	
A-07.2	DETAILS	
A-07.3	DETAILS	
A-08	LOT ELEVATIONS	

**ELEVATIONS** 

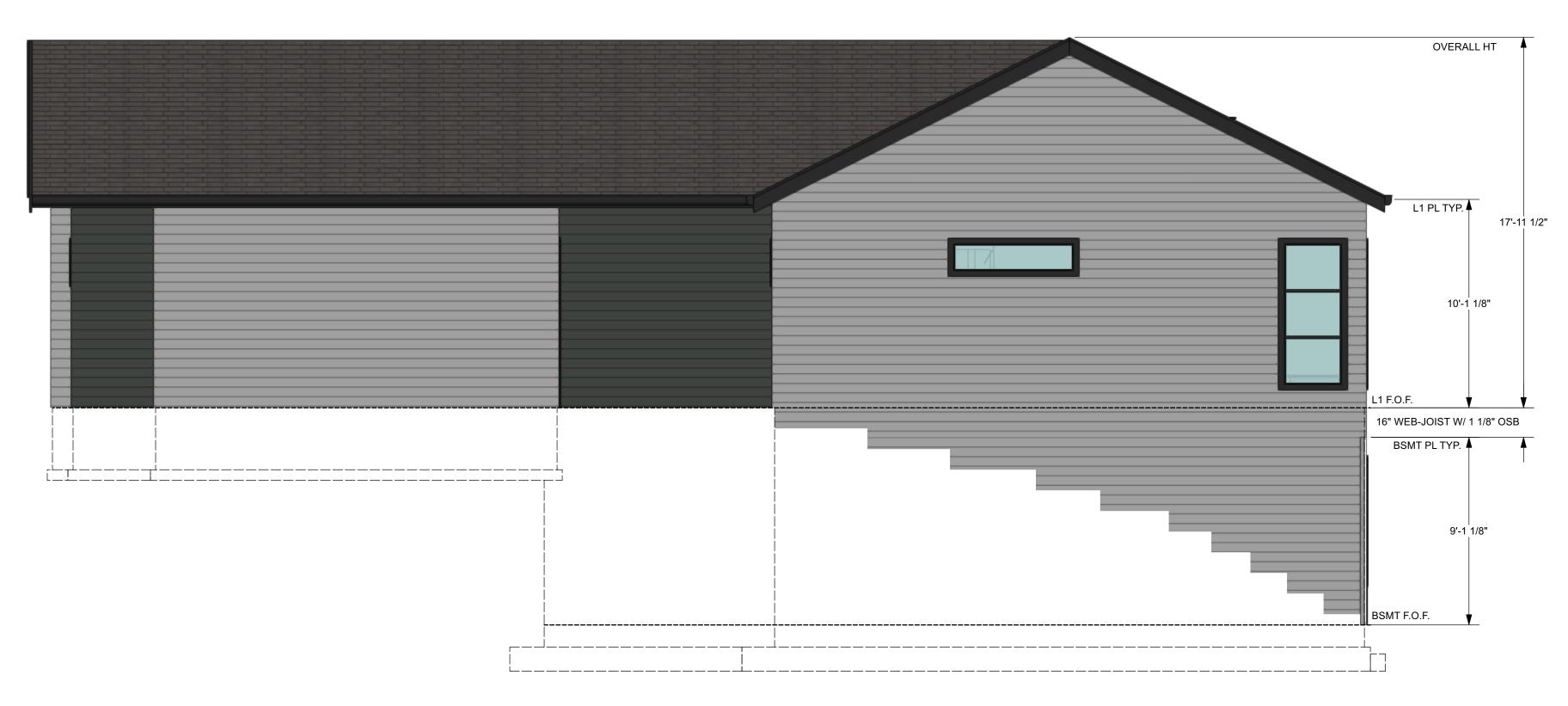
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**DUPLICATION OF THIS DOCUMENT** 





# Scale: 1/4" = 1'-0"



#### **ELEVATION NOTES**

 SEE ROOF PLAN FOR ROOF PITCHES NOT SPECIFIED.

#### 2. ROOFING

- ARCHITECTURAL COMPOSITION ASPHALT SHINGLES OR EQUIVALENT ON ALL ROOF SURFACES.

- HARDIE ASPYRE 9" SHIPLAP OR EUIV.

#### - STONE VENEER SIDING

#### - 5/4 X 4 WINDOW AND DOOR TRIM.

- 5/4 X 4 CORNER BOARDS
- 2X8 FASCIA BOARD BEHIND ALL GUTTERS - 2X8 BARGE RAFTERS
- 3. INFORMATION SHOWN ON THIS PAGE AND THROUGHOUT THIS DOCUMENT ARE SUBJECT TO ENGINEERING AND MANUFACTURER SPECIFICATIONS. REFER TO ENGINEERING FOR STRUCTURAL SPECIFICATIONS.
- 4. WINDOWS AND DOORS REFER TO ROUGH OPENING AND SASH OPERATION ON FLOOR PLAN PAGES

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SUBMISSION DATE: 09.13.23

ARCH D - 36X24

A-01.1

#### SHEET DIRECTORY

	<u>RECIUR</u>
00 COVE	ER SHEET

**ELEVATIONS** 

A-01.2 ELEVATIONS

A-02.1 LEVEL 1 FLOOR PLAN A-02.2 BASEMENT PLAN

FND

ROOF

LEVEL 1 FLOOR FRAMING

A-06 SECTIONS

**DETAILS** 

**DETAILS DETAILS** 

LOT ELEVATIONS

**ELEVATIONS** 

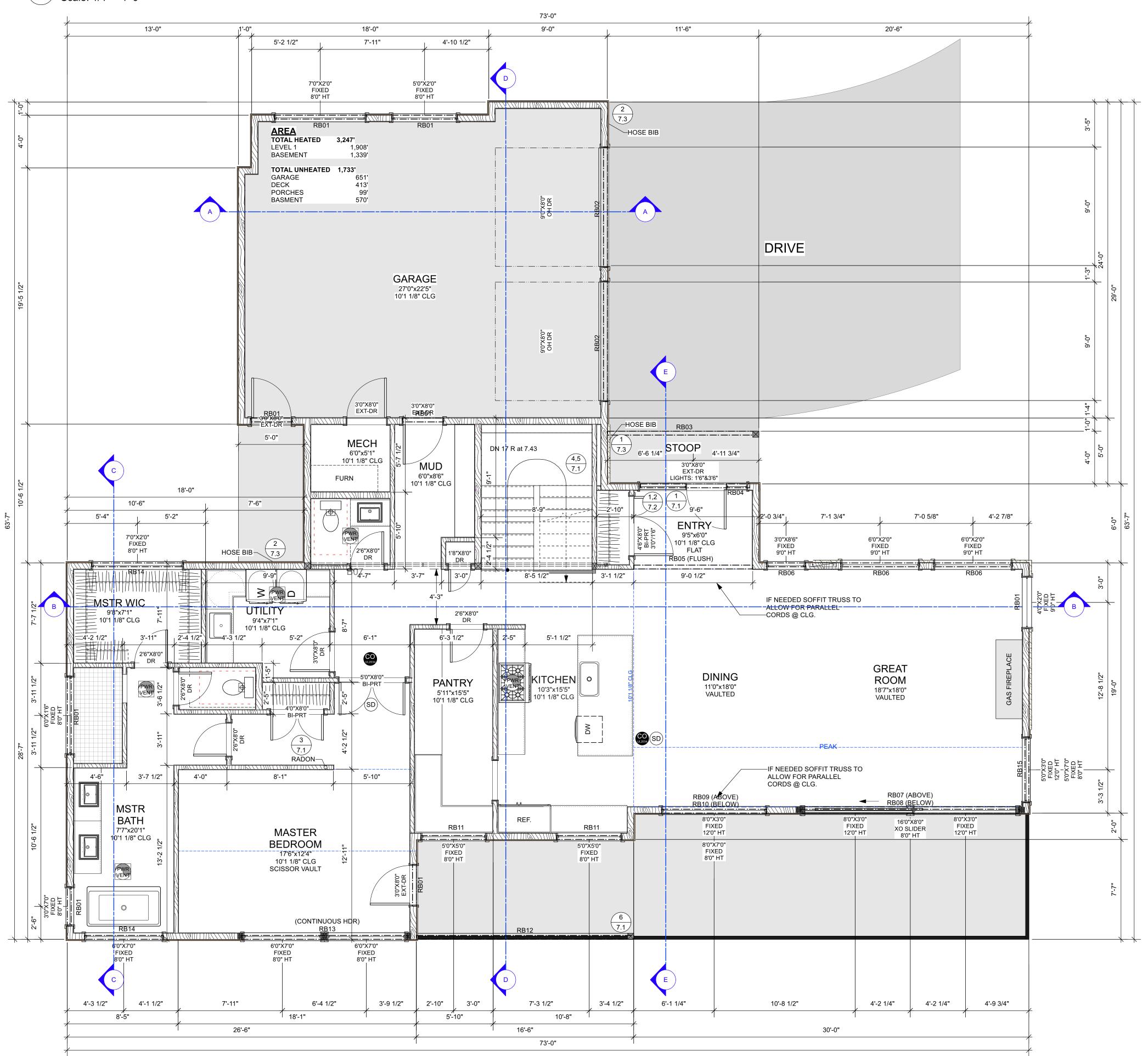
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Scale: AS NOTED



**DUPLICATION OF THIS DOCUMENT** 

#### LEVEL 1 FLOOR PLAN Scale: 1/4" = 1'-0"



#### **NOTES FLOOR PLANS**

1. ACCESSIBILITY BRACING: GRAB BAR BRACING SHALL BE 2X10 MATERIAL FLUSH WITH FRAMING HORIZONTALLY INSTALLED AT 34 1/2" FROM FACE OF FLOOR. GRAB BARS WHEN APPLIED ARE TO BE INSTALLED BETWEEN 33" TO 36" FROM THE FACE OF THE FINISHED FLOOR TO THE TOP OF THE GRAB BAR. AROUND SHOWERS, AT BACK AND SIDES OF TOILETS, AND AT ENDS AND SIDE WHERE NOT OBSTRUCTED BY A WINDOW.

2. FIREPLACES:

**LEGEND** 

- - - - - -

--CL---

VENT

ACCESS

22X30

MAKE AND MODELS SHOWN ON FLOOR PLANS. CONSULT MANUFACTURERS SPECIFICATION TO VERIFY ALL FRAMING.

3. TEMPERED GLAZING IS REQUIRED UNDER THE FOLLOWING CONDITIONS AS LISTED IN R.308.4 IN THE CURRENT I.R.C. - WINDOWS WITH INDIVIDUAL PANES LARGER THAN 9 SQFT. - BOTTOM EDGE OF GLAZING IS LESS THAN 18" ABOVE FLOOR - THE TOP EDGE OF THE GLAZING IS MORE THAN 36" ABOVE THE FLOOR OR WALKING SURFACE.

- ONE OR MORE WALKING SURFACES ARE WITHIN 36" OF THE WINDOW MEASURING IN A STRAIGHT LINE. - GLAZED GUARD RAILS, INFILL PANELS BOTH STRUCTURAL AND NON-STRUCTURAL ARE CONSIDERED HAZARDOUS

LOCATIONS. - ALL GLAZING IN PROXIMITY TO WET SURFACES (HOT TUBS, SPAS, BATHTUBS, SHOWERS, POOLS, ETC...) WHERE GLAZING

IS WITHIN 60" OF THE WALKING SURFACE. - GLAZING ADJACENT TO STAIRWAYS LESS THAN 36" FROM ABOVE THE PLANE OF WALKING SURFACES. - GLAZING ADJACENT TO BOTTOM STAIR LANDINGS.

4. HANDRAILS TO EXTERIOR AND INTERIOR STAIRS, BALCONIES AND LOFTS ARE BY OTHERS AND ARE TO COMPLY WITH CODE

- GLAZING WITHIN 24" OF A DOOR MUST BE TEMPERED.

GEOMETRY FOR SAFETY. SEE STAIR DETAIL FOR REQ.

5. FRAMING: U.N.O. ALL HEADERS OVER EXTERIOR DOORS AND WINDOWS ARE 4X10.

FOUNDATION STEM WALL OR BASEMENT WALL

FRAMED INTERIOR WALL - 2"X 6" OR 2"X 4" @ 24" O.C.

FRAMED EXTERIOR WALL - MASONRY/LAP SIDING

CARBON MONOXIDE DETECTOR UL-2034 COMPLIANT

STONE/BRICK FACING OR WAINSCOT

R315 SENSOR AND POWERED VENT

**OUTLINE OF FOUNDATION FOOTINGS** 

SMOKE DETECTOR (INTERCONNECTED

FOUNDATION FOOTING

PARTIAL WALLS

**SECTION MARKER** 

**DETAIL MARKER** 

DOWN SPOUT

**HVAC CHASE** 

CENTERLINE

POINT LOADS

**HVAC SUPPLY PATH** 

OUTLINE OF ROOF

CLG OUTLINE (RCP)

**FOUNDATION VENT** 

CRAWLSPACE/ATTIC ACCESS

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#### SHEET DIRECTORY

**COVER SHEET** 

A-01.1 **ELEVATIONS** 

A-01.2 ELEVATIONS

A-02.1 LEVEL 1 FLOOR PLAN

BASEMENT PLAN

A-03 FND

ROOF

LEVEL 1 FLOOR FRAMING

A-06 SECTIONS

A-07.1 **DETAILS** 

A-07.2 DETAILS

**DETAILS** LOT ELEVATIONS

LEVEL 1 **FLOOR PLAN** 

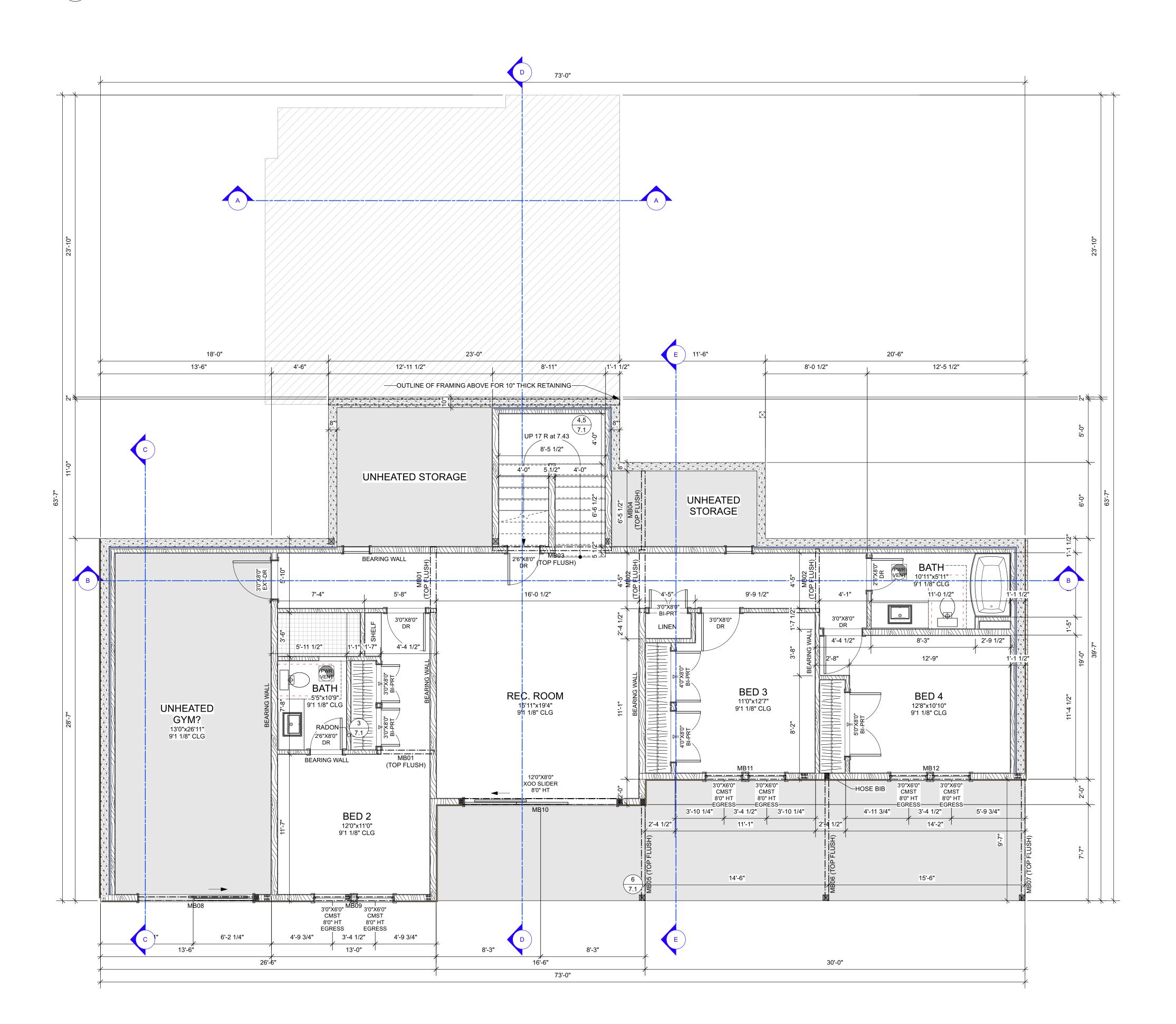
A-02.1

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**DUPLICATION OF THIS DOCUMENT** 

# BASEMENT FLOOR PLAN



#### **NOTES FLOOR PLANS**

1. ACCESSIBILITY BRACING: GRAB BAR BRACING SHALL BE 2X10 MATERIAL FLUSH WITH FRAMING HORIZONTALLY INSTALLED AT 34 1/2" FROM FACE OF FLOOR. GRAB BARS WHEN APPLIED ARE TO BE INSTALLED BETWEEN 33" TO 36" FROM THE FACE OF THE FINISHED FLOOR TO THE TOP OF THE GRAB BAR. AROUND SHOWERS, AT BACK AND SIDES OF TOILETS, AND AT ENDS AND SIDE WHERE NOT OBSTRUCTED BY A WINDOW.

2. FIREPLACES:

**LEGEND** 

- - - - - -

--CL---

ACCESS

22X30

MAKE AND MODELS SHOWN ON FLOOR PLANS. CONSULT MANUFACTURERS SPECIFICATION TO VERIFY ALL FRAMING.

- 3. TEMPERED GLAZING IS REQUIRED UNDER THE FOLLOWING CONDITIONS AS LISTED IN R.308.4 IN THE CURRENT I.R.C. - WINDOWS WITH INDIVIDUAL PANES LARGER THAN 9 SQFT. - BOTTOM EDGE OF GLAZING IS LESS THAN 18" ABOVE FLOOR - THE TOP EDGE OF THE GLAZING IS MORE THAN 36" ABOVE THE FLOOR OR WALKING SURFACE.
- ONE OR MORE WALKING SURFACES ARE WITHIN 36" OF THE WINDOW MEASURING IN A STRAIGHT LINE. - GLAZED GUARD RAILS, INFILL PANELS BOTH STRUCTURAL
- AND NON-STRUCTURAL ARE CONSIDERED HAZARDOUS LOCATIONS. - ALL GLAZING IN PROXIMITY TO WET SURFACES (HOT TUBS,
- SPAS, BATHTUBS, SHOWERS, POOLS, ETC...) WHERE GLAZING IS WITHIN 60" OF THE WALKING SURFACE. - GLAZING ADJACENT TO STAIRWAYS LESS THAN 36" FROM
- ABOVE THE PLANE OF WALKING SURFACES. - GLAZING ADJACENT TO BOTTOM STAIR LANDINGS. - GLAZING WITHIN 24" OF A DOOR MUST BE TEMPERED.
- 4. HANDRAILS TO EXTERIOR AND INTERIOR STAIRS, BALCONIES AND LOFTS ARE BY OTHERS AND ARE TO COMPLY WITH CODE GEOMETRY FOR SAFETY. SEE STAIR DETAIL FOR REQ.
- 5. FRAMING: U.N.O. ALL HEADERS OVER EXTERIOR DOORS AND WINDOWS ARE 4X10.

FOUNDATION STEM WALL OR BASEMENT WALL

FRAMED INTERIOR WALL - 2"X 6" OR 2"X 4" @ 24" O.C.

CARBON MONOXIDE DETECTOR UL-2034 COMPLIANT

FRAMED EXTERIOR WALL - MASONRY/LAP SIDING

STONE/BRICK FACING OR WAINSCOT

R315 SENSOR AND POWERED VENT

**OUTLINE OF FOUNDATION FOOTINGS** 

SMOKE DETECTOR (INTERCONNECTED

FOUNDATION FOOTING

PARTIAL WALLS

**SECTION MARKER** 

**DETAIL MARKER** 

**DOWN SPOUT** 

**HVAC CHASE** 

CENTERLINE

POINT LOADS

**HVAC SUPPLY PATH** 

OUTLINE OF ROOF

CLG OUTLINE (RCP)

**FOUNDATION VENT** 

CRAWLSPACE/ATTIC ACCESS

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#### SHEET DIRECTORY

**COVER SHEET** 

A-01.1 **ELEVATIONS** 

A-01.2 ELEVATIONS

LEVEL 1 FLOOR PLAN A-02.1 BASEMENT PLAN

A-03 FND

ROOF

LEVEL 1 FLOOR FRAMING

A-06 SECTIONS

A-07.1 **DETAILS** 

A-07.2 DETAILS

**DETAILS** 

LOT ELEVATIONS

**BASEMENT FLOOR PLAN** 

A-02.2

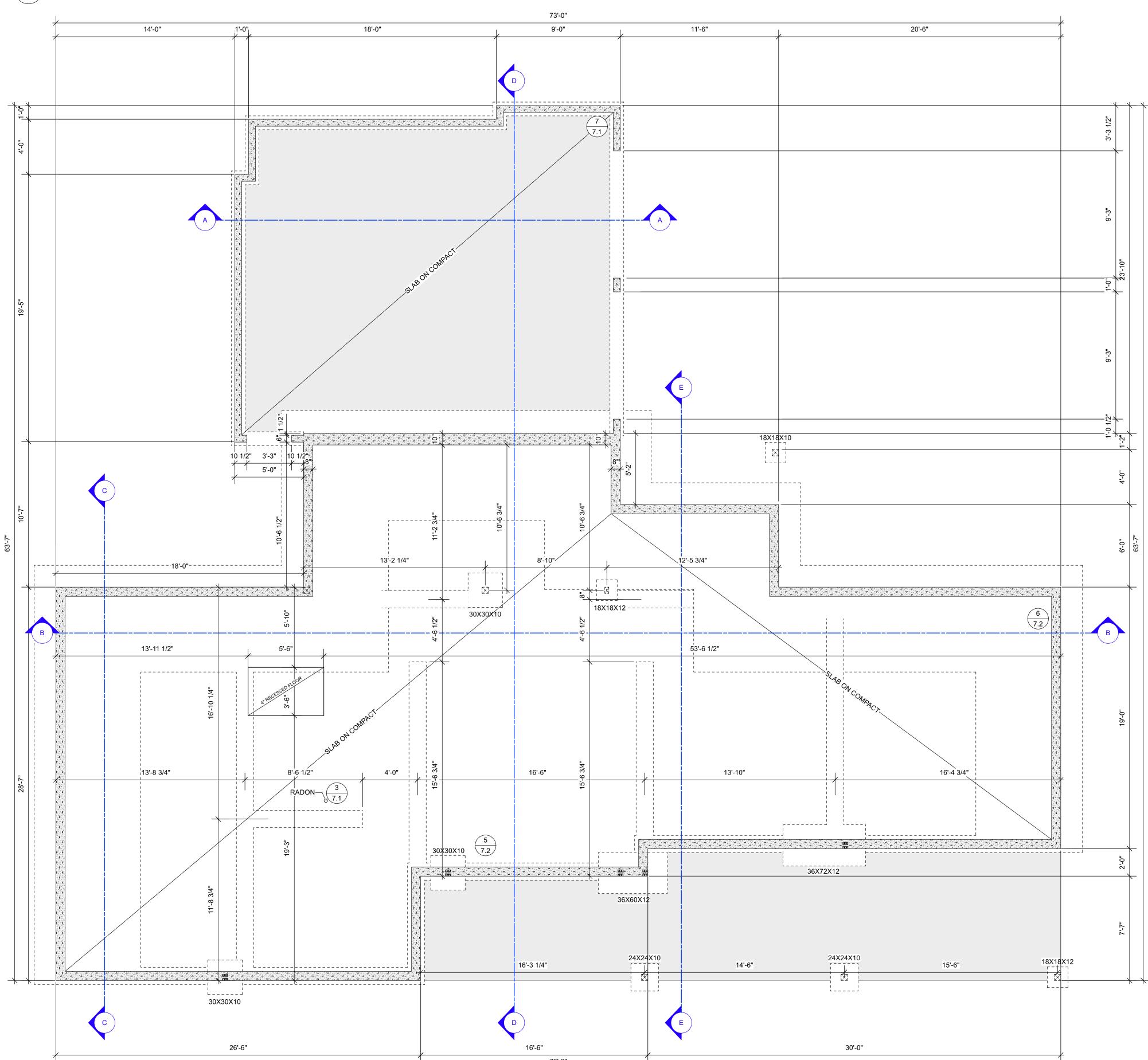
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#### FOUNDATION PLAN Scale: 1/4" = 1'-0"



#### **FOUNDATION NOTES**

1. VENTING (IRC WAC R408.2). MINIMUM NET AREA OF VENTILATION OPENINGS SHALL NOT BE LESS THAN 1 SQUARE FOOT PER 300 SQUARE FEET OF SPACE.

MAIN LEVEL VENTILATION CALCULATION: NO VENTING FOR SLAB

- 2. FOUNDATION DRAINAGE (IRC 405): DRAINS SHALL BE PROVIDED AROUND ALL CONCRETE OR MASONRY FNDS AT OR BELOW THE AREA TO BE PROTECTED. DRAINAGE TILES, GRAVEL, CRUSHED ROCK, PERFORATED PIPE OR OTHER APPROVED SYSTEMS SHALL DISCHARGE TO AN APPROVED DRAINAGE SYSTEM. GRAVEL OR CRUSHED STONE SHALL EXTEND 12" BEYOND THE OUTSIDE EDGE OF THE FOOTING AND 5" ABOVE THE TOP OF THE FOOTINGAND BE COVERED WITH AN APPROVED FILTER MEMBRANE MATERIAL. PERFORTAED DRAINS SHALLE BE SURROUNDED WITH AN APPROVED FILTER MEMBRANE OR THE APPROVED MEMBRANE SHALL COVER THE WASHED GRAVEL OR CRUSHED ROCK COVERING OF THE DRAIN.
- 3. INFORMATION SUBJECT TO ENGINEERING. REFER TO ENGINEER'S SHEET MARKED "S" FOR STRUCTURAL SPECIFICATIONS.
- 4. THE UNDER-FLOOR SPACE BETWEEN THE BOTTOM OF THE FLOOR JOISTS AND THE EARTH UNDER ANY BUILDING (EXCEPT SPACE OCCUPIED BY A BASEMENT) SHALL HAVE VENTILATION OPENINGS THROUGH FOUNDATION WALLS OR EXTERIOR WALLS. THE MINIMUM NET AREA OF VENTILATION OPENINGS SHALL BE NOT LESS THAN 1 SQUARE FOOT FOR EACH 150 SQUARE FEET OF UNDER-FLOOR SPACE AREA., UNLESS THE GROUND SURFACE IS COVERED BY CLASS 1 VAPOR RETARDER MATERIAL WHERE A CLASS 1 VAPOR RETARDER MATERIAL IS USED, THE MINIMUM NET AREA OF VENTILATION OPENINGS SHALL BE NOT LESS THAN 1 SQUARE FOOT FOR EACH 1,500 SQUARE FEET OF UNDER-FLOOR SPACE AREA. ONE SUCH VENTILATING OPENING SHALL BE WITHIN 3 FEET OF EACH CORNER OF THE BUILDING.
- 5. DOWN SPOUTS CARRY DOWN TO FND, OFFSET ADDITIONAL 4" WHERE THERE IS STONE CLADDING PER ELEVATIONS

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SUBMISSION DATE:

ARCH D - 36X24

#### SHEET DIRECTORY

	I DINECTOR
-00	COVER SHEET

**ELEVATIONS** A-01.2 **ELEVATIONS** 

LEVEL 1 FLOOR PLAN

**BASEMENT PLAN** 

FND

ROOF

LEVEL 1 FLOOR FRAMING

SECTIONS

**DETAILS** 

DETAILS

LOT ELEVATIONS

**DETAILS** 

**FOUNDATION** <u>PLAN</u>

A-03

Scale: AS NOTED



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**LEGEND** 

FOUNDATION STEM WALL OR BASEMENT WALL FOUNDATION FOOTING

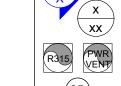
FRAMED INTERIOR WALL - 2"X 6" OR 2"X 4" @ 24" O.C.

FRAMED EXTERIOR WALL - MASONRY/LAP SIDING PARTIAL WALLS

**SECTION MARKER** 

DETAIL MARKER

STONE/BRICK FACING OR WAINSCOT



- - - - - -

R315 SENSOR AND POWERED VENT

SMOKE DETECTOR (INTERCONNECTED

CARBON MONOXIDE DETECTOR UL-2034 COMPLIANT **DOWN SPOUT** 

**HVAC SUPPLY PATH** 

OUTLINE OF ROOF

**HVAC CHASE** 

**OUTLINE OF FOUNDATION FOOTINGS** 

CENTERLINE --CL---CLG OUTLINE (RCP)

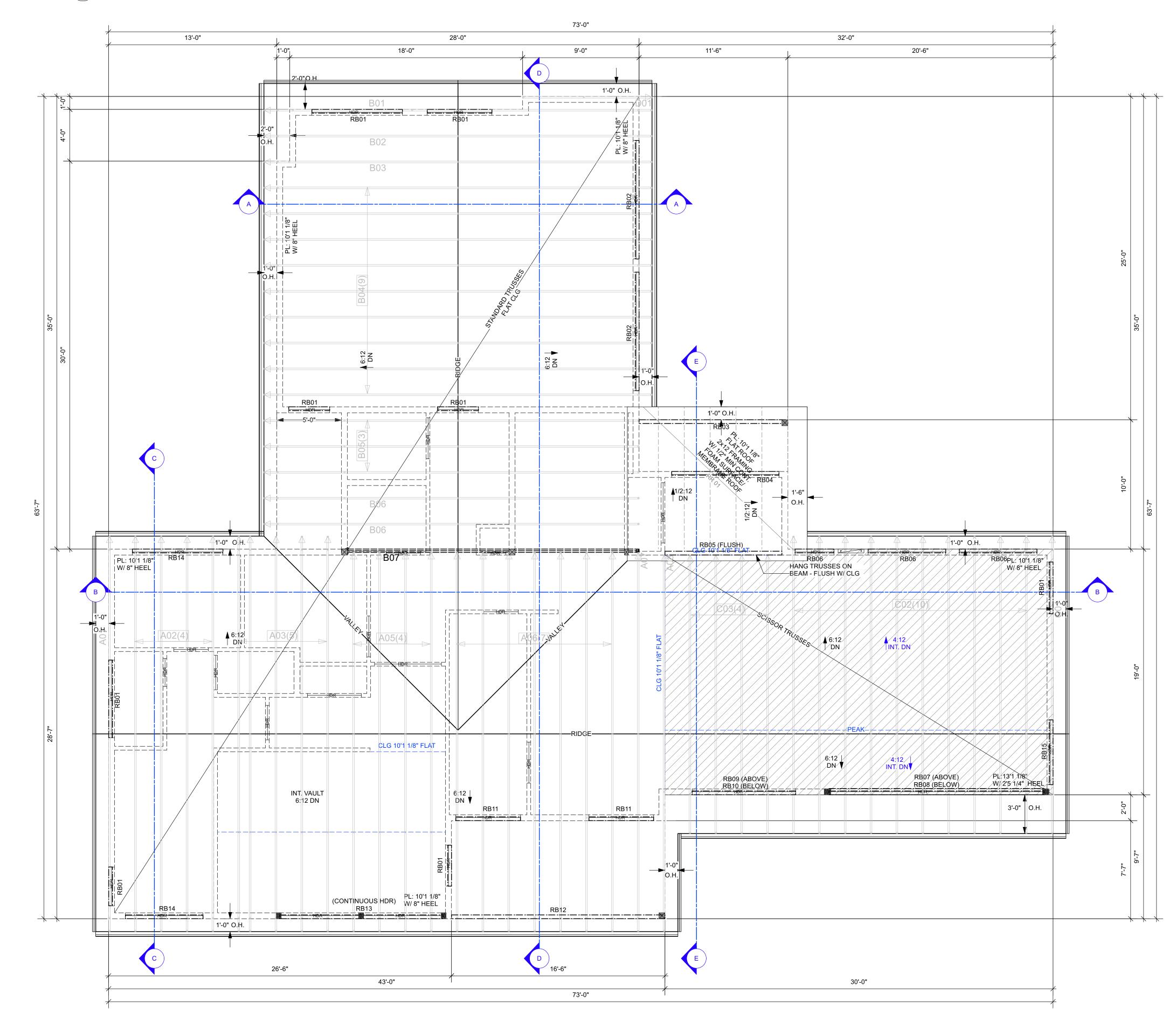
POINT LOADS

ACCESS

22X30

FOUNDATION VENT

CRAWLSPACE/ATTIC ACCESS



#### **ROOF PLAN NOTES**

- 1. ALL INFORMATION SUBJECT TO ENGINEERING SHEETS MARKED "S". ALL STRUCTURAL SPECIFICATIONS ARE FOUND THEREIN.
- 2. TRUSS DESIGN BY OTHERS MAY VARY SLIGHTLY WITH ROOF PLAN. TRUSS LAYOUT TO BE SITE VERIFIED.
- 3. ROOF PLANE 4:12 OR LESS REQUIRE TWO (2) LAYERS OF ROOFING FELT BENEATH ASPHAULTIC SHINGLES.
- 4. OVERHANGS: U.N.O. OVERHANGS ARE 2'6"
- 5. ROOF PLATE HEIGHTS: AS NOTED ON PLAN.
- 6. HEEL: 8" U.N.O.

#### **VENTING NOTES**

1. ROOF VENTING: LOW PITCH SINGLE PLANE ROOF TO BE VENTED @ UPPER AND LOWER EAVES PER DETAIL. GABLED ROOF TO BE VENTED AT EAVES AND RIDGE.

THE MIN. NET FREE VENTILATING SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE. THIS MAY BE REDUCED TO 1/300 IF MIN 40% AND MAX 50% OF THE IS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE WITH VENTILATORS LOCATED NO MORE THAN 3'0" BELOW THE RIDGE OR HIGHEST POINT OF THE SPACED MEASURED VERTICALLY.

FOR ONLINE TOOLS GO TO:

http://www.gaf.com/Roofing/Residential/Products/Roof\_Vents/V entilation Calculator

2. VENT CALCS: 2,894 SQFT AREA / 300 (1:300 MIN) = 9.64 SQ FT VENTILATION X 144 (SQ INCH PER SQFT) 1389 SPLIT 50/50 INTAKE / EXHAUST. 694.5 SQ INCH VENTILATION INTAKE 694.5 SQ INCH VENTILATION EXHAUST

IF CONDITIONS DESCRIBED REQ 1:150 RATIO DOUBLE THIS AMOUNT.

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**VERSION:** 

FINAL

SUBMISSION DATE: 09.13.23

SHEET SIZE: ARCH D - 36X24

#### SHEET DIRECTORY

A-00 COVER SHEET **ELEVATIONS** A-01.1

A-01.2 **ELEVATIONS** 

LEVEL 1 FLOOR PLAN

**BASEMENT PLAN** 

A-03 FND

LEVEL 1 FLOOR FRAMING

SECTIONS A-06

**DETAILS** 

DETAILS

A-07.3 **DETAILS** 

LOT ELEVATIONS

**ROOF PLAN** 

A-04

Scale: AS NOTED



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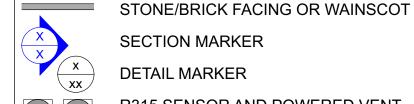
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**LEGEND** 

FOUNDATION STEM WALL OR BASEMENT WALL FOUNDATION FOOTING

- - - - - -FRAMED INTERIOR WALL - 2"X 6" OR 2"X 4" @ 24" O.C.

FRAMED EXTERIOR WALL - MASONRY/LAP SIDING PARTIAL WALLS



**SECTION MARKER** DETAIL MARKER

R315 SENSOR AND POWERED VENT SMOKE DETECTOR (INTERCONNECTED

CARBON MONOXIDE DETECTOR UL-2034 COMPLIANT

**DOWN SPOUT HVAC SUPPLY PATH** 

**HVAC CHASE** OUTLINE OF ROOF

**OUTLINE OF FOUNDATION FOOTINGS** CENTERLINE --CL---

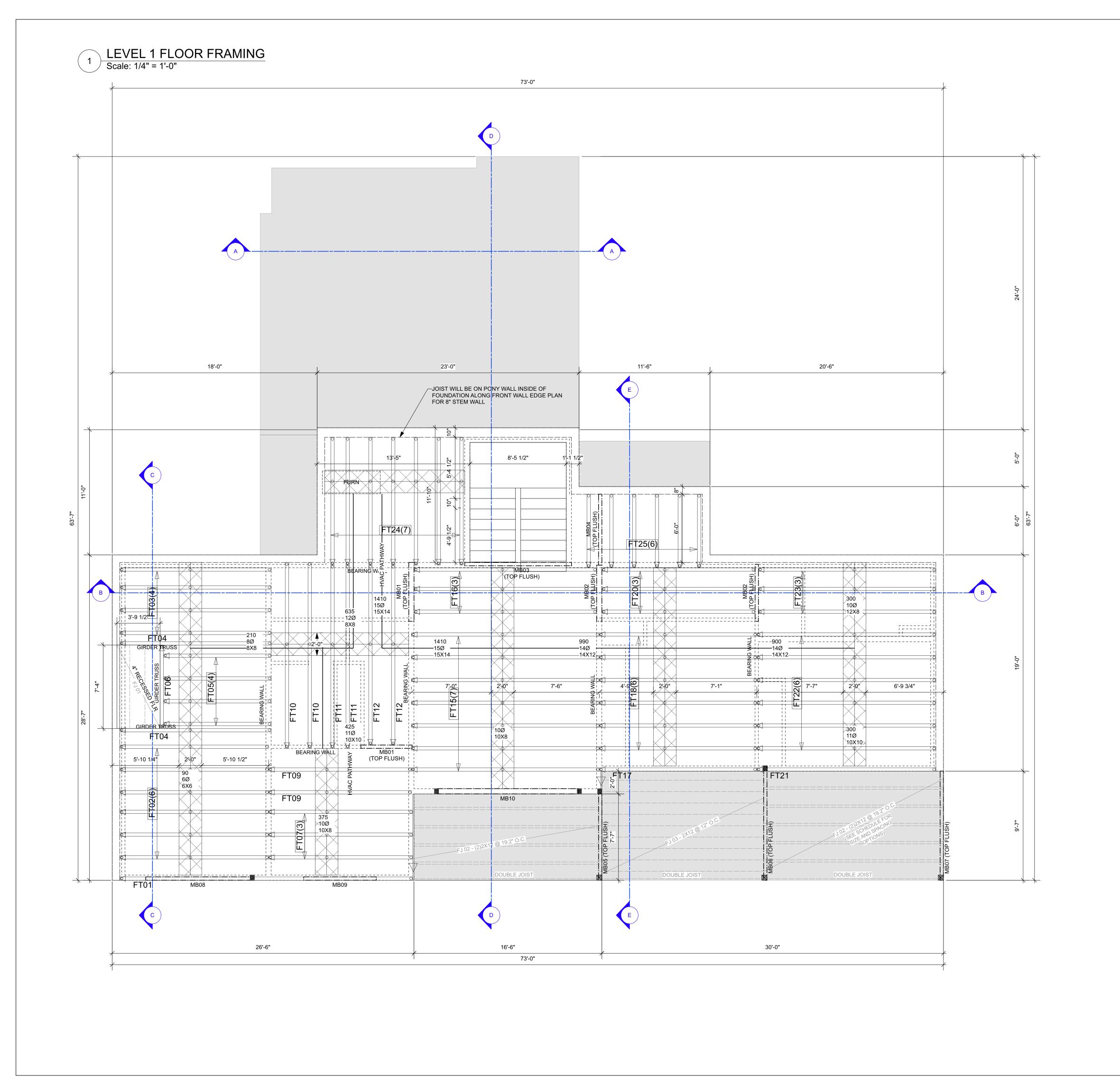
CLG OUTLINE (RCP)

ACCESS

22X30

FOUNDATION VENT CRAWLSPACE/ATTIC ACCESS

POINT LOADS



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**VERSION:** 

SUBMISSION DATE: 09.13.23

SHEET SIZE: ARCH D - 36X24

#### SHEET DIRECTORY

COVER SHEET **ELEVATIONS ELEVATIONS** A-01.2 LEVEL 1 FLOOR PLAN **BASEMENT PLAN** 

A-03 FND A-04

LEVEL 1 FLOOR FRAMING

SECTIONS A-06 **DETAILS** A-07.1 DETAILS DETAILS

LOT ELEVATIONS

2. FLOOR TRUSSES 24" OC REQ FOR HVAC LAYOUT.

**NOTES FLOOR FRAMING** 

PARTIAL WALLS

**SECTION MARKER** 

### **LEGEND**

FOUNDATION STEM WALL OR BASEMENT WALL FOUNDATION FOOTING

INFORMATION SHOWN IS SUBJECT TO ENGINEERING SHEETS MARKED "S".

FRAMED INTERIOR WALL - 2"X 6" OR 2"X 4" @ 24" O.C. FRAMED EXTERIOR WALL - MASONRY/LAP SIDING

STONE/BRICK FACING OR WAINSCOT

- - - - - - -

**DETAIL MARKER** R315 SENSOR AND POWERED VENT

SMOKE DETECTOR (INTERCONNECTED

CARBON MONOXIDE DETECTOR UL-2034 COMPLIANT DOWN SPOUT

HVAC SUPPLY PATH

OUTLINE OF ROOF

**HVAC CHASE** 

OUTLINE OF FOUNDATION FOOTINGS

CENTERLINE CLG OUTLINE (RCP)

VENT ATTIC ACCESS 22X30

FOUNDATION VENT CRAWLSPACE/ATTIC ACCESS

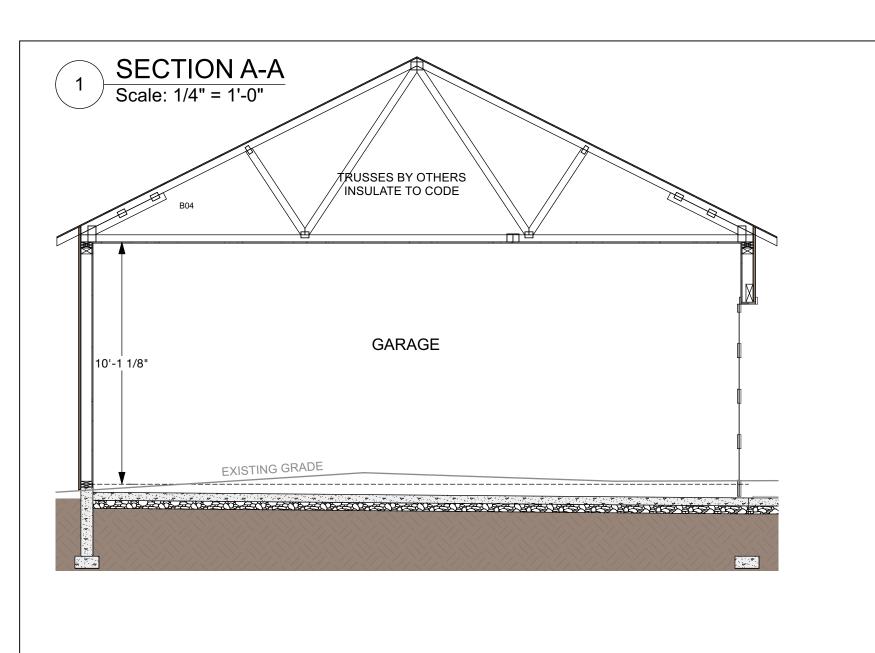
POINT LOADS

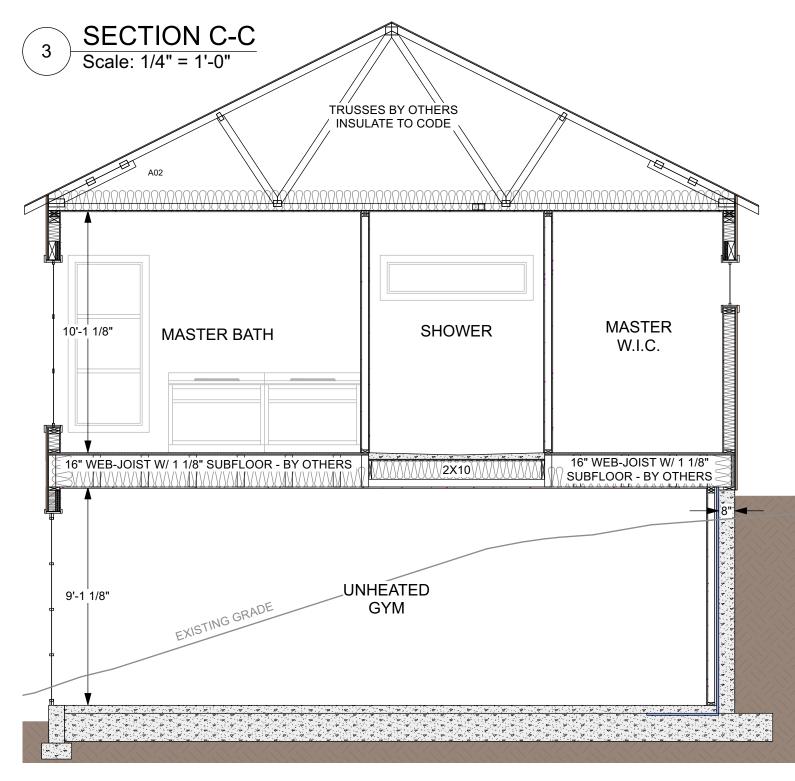
LEVEL 1 **FLOOR FRAMING** A-05

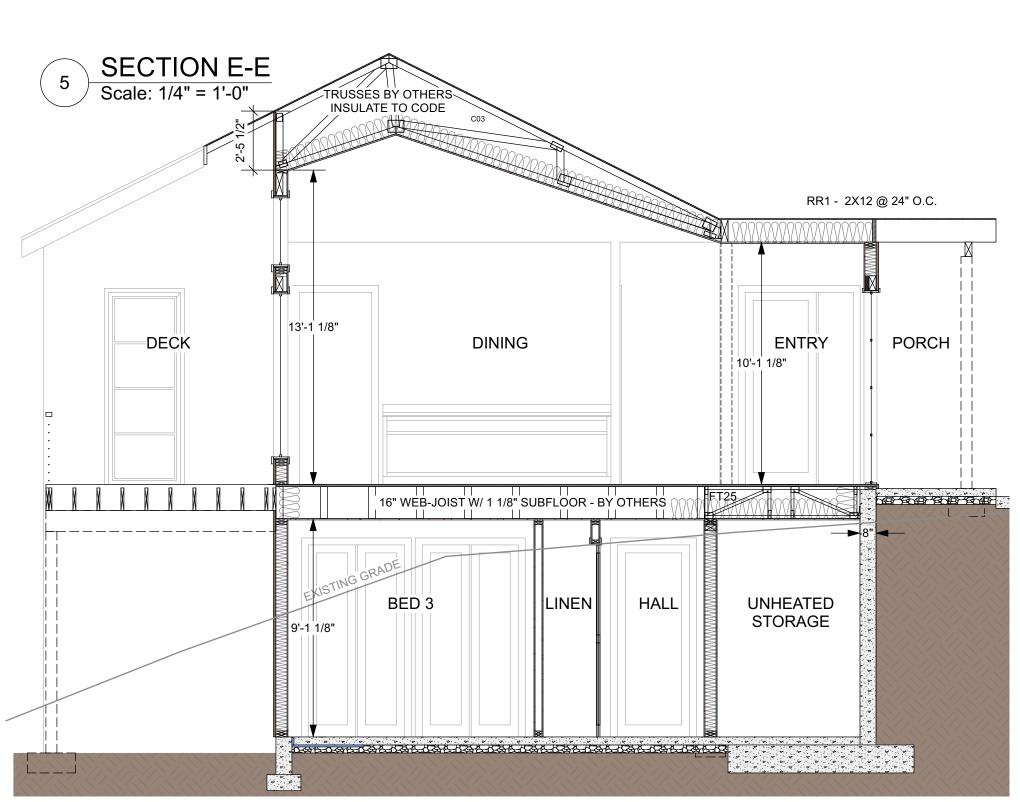
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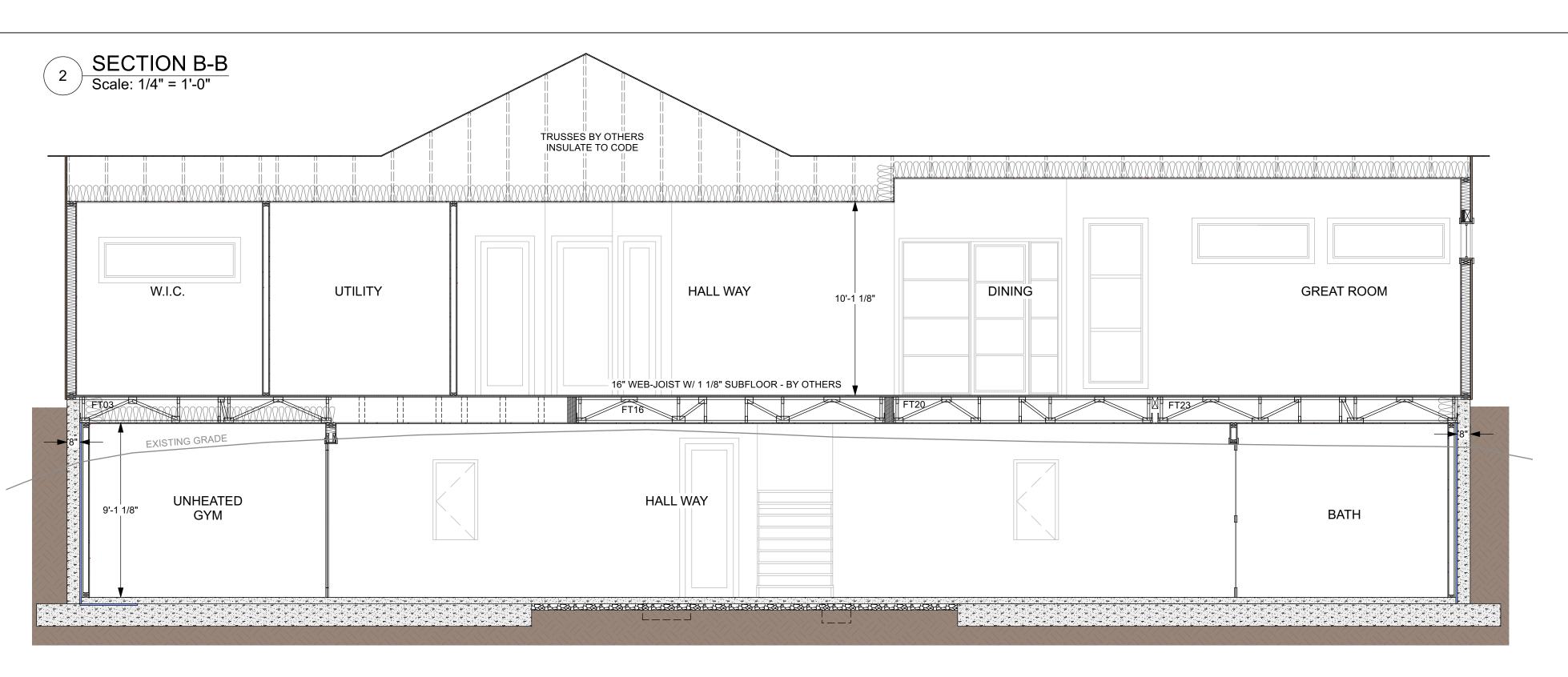


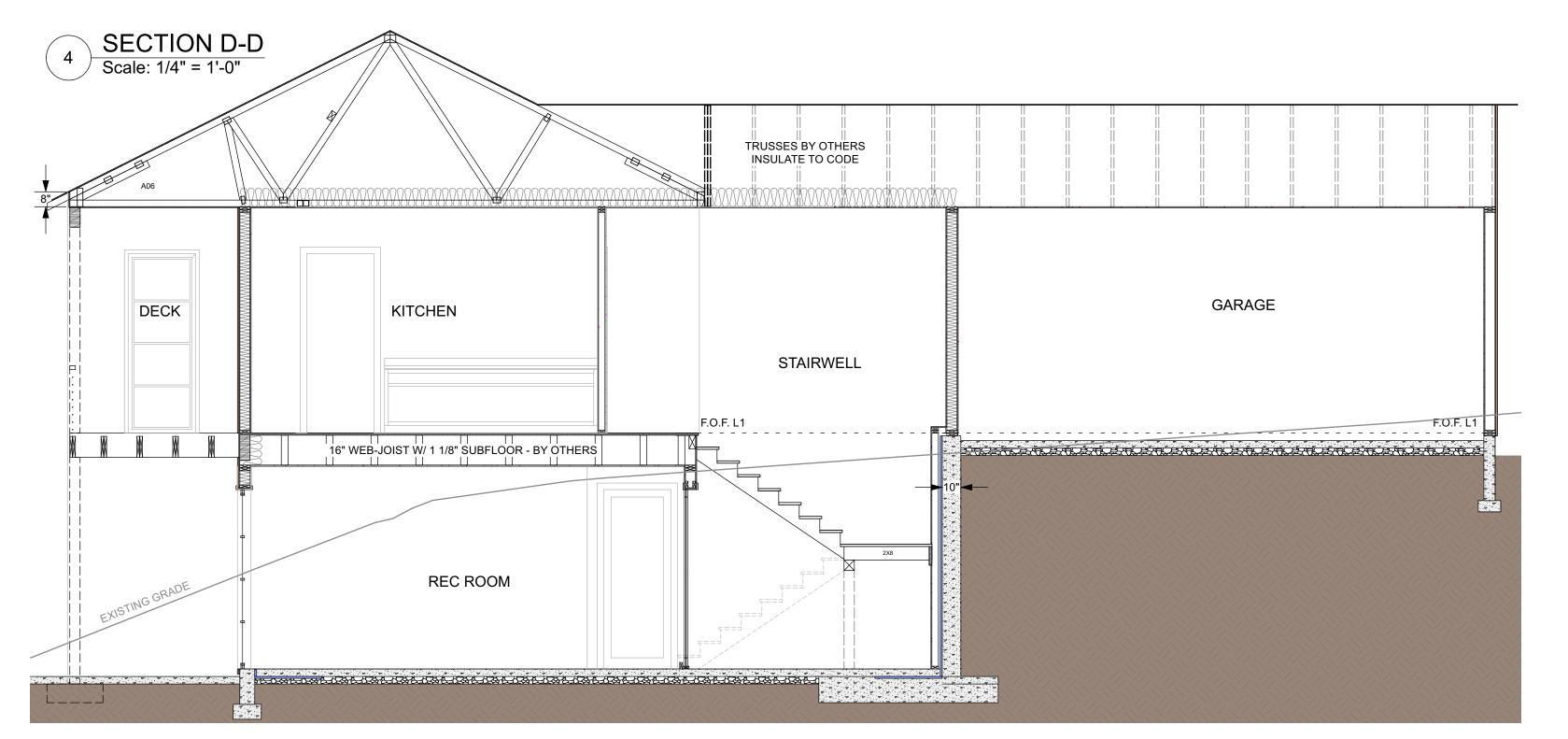
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SECTION NOTES

1. ALL INFORMATION SHOWN IS SUBJECT TO ENGINEERING SPECIFICATIONS. FRAMING SPECIFICATIONS, CONNECTIONS, FOUNDATION SIZING, SHEER WALLS, HOLD DOWNS JOIST AND ROOF COMPONENT SPECIFICATIONS AND LAYOUT ARE FOUND IN THE ENGINEERING SHEETS MARKED "S." SECTIONS ARE DIAGRAMMATIC REPRESENTATIONS ONLY.

2. INSULATION REQUIREMENTS: R - 49 - FLAT CLG

R - 38 - VAULTED CLG

R - 38 - FLOORS OVER UNCONDITIONED SPACE

R - 21 - WOOD FRAMED EXTERIOR WALL

R - 21 - BELOW GRADE WALL OR R-5 RIGID+R13 BATT INT. SIDE

R - 15 - SLAB ON GRADE TO 24" INSIDE EXTERIOR WALLS.

R - 8 - AROUND DUCTS

R - 4 - UNDER ELECTRIC WATER HEATERS

U - 0.28 - GLAZING VALUE

## SECTION LEGEND



BATT OR BLOWN INSULATION

RIGID INSULATION

DIMENSIONAL LUMBER

PLYWOOD

BLOCKING

GLUELAM (VERIFY ENG.)

PARALLAM BEAM (VERIFY ENG.)

I I IJOIST

GRAVEL BASE

OUTLINE OF NOTED INTERIOR CONSIDERATIONS

------ CENTERLINE

HVAC PATHWAY

A-06

Scale: AS NOTED

**SECTIONS** 

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SUBMISSION DATE:

SHEET DIRECTORY

COVER SHEET

**ELEVATIONS** 

**ELEVATIONS** 

FND

ROOF

SECTIONS

**DETAILS** 

DETAILS

**DETAILS** 

LOT ELEVATIONS

LEVEL 1 FLOOR PLAN

LEVEL 1 FLOOR FRAMING

BASEMENT PLAN

**VERSION:** 

09.13.23

A-00

A-01.1

A-01.2

A-03

A-04

A-06

A-07.1

A-07.2

SHEET SIZE: ARCH D - 36X24



DUPLICATION OF THIS DOCUMENT

ABOUT AAMA (AMERICAN ARCHITECTURAL MANUFACTURERS ASSOCIATION) METHOD "B" SYSTEM FOR WINDOW FLASHING REPRESENTED. THIS SYSTEM IS A DRAINAGE SYSTEM RATHER THAN A BARRIER SYSTEM IT REQUIRES THE PRESENCE OF A "PAN" AND DRAINAGE VENTS CREATED BY BREAKS IN THE SEALANT BEAD BEHIND

NAIL ON FLASHING (NOF) WINDOW FLASHING SIZES: (USING 9" OR 12" SAF FLASHING ) EITHER 9" OR 12" MATERIAL \*NOF SILL FLASHING - RO WIDTH + 2X WIDTH OF JAM FLASHING.

\*NOF JAM FLASHING - RO HEIGHT PLUS 1 WIDTH OF MATERIAL - 1/2"

THE BOTTOM NAIL FIN.

\*NOF HEAD FLASHING - RO WIDTH PLUS 2X MATERIAL WIDTH

ALL FINISHED SIDE OF EXPOSED FLASHING IS TO BE BLACK IN RAINSCREEN APPLICATIONS.

TO AVOID MATERIAL CONFLICT USE ONLY APPROVED SEALANTS WITH SAF FLASHING. INCORRECT SEALANTS MAY LIQUIFY SAF FLASHING.

INFORMATION HEREIN SUBJECT TO MANUFACTURER SPECIFICATIONS. WHERE CONFLICTS OCCUR DEFAULT TO MOST STRINGENT REQUIREMENTS.

- . ROUGH OPENING: ROUGH OPENING FOR WINDOWS IS TO BE 1/2" TALLER AND 1/4" ON EACH SIDE (1/2" O.A.) WITHOUT A REF: NOTE 3 PAN SYSTEM; WITH A PAN SYSTEM 3/8" ON EACH SIDE (3/4" O.A.) TO ALLOW FOR RIGID CORNER SYSTEM WITH SAF PAN OR METAL PAN. ROUGH SILL IS TO BE LEVEL.
- . NAIL ON FLASHING AT SILL PLATE: FASTEN (STAPLE) A 12" FLASHING BIB TOP FLUSH WITH THE BOTTOM EDGE OF THE ROUGH OPENING. THIS ANTICIPATES GRADE D BUILDING PAPER WILL BE INSTALLED AFTER THE COMPLETION OF THE WINDOW FLASHING AND WILL BE TUCKED UNDER HOUSE WRAP.
- . INSTALL PAN SYSTEM: NAIL IN PRE-MADE FLEXIBLE FLASHING CORNERS SNUGGLY AT BOTH SIDES OF THE ROUGH OPENING AT THE SILL. INSTALL 12" SAF SHEET INSIDE THE FULL DEPTH OF THE ROUGH OPENING. CUT AT THE CORNER TO THE BOTTOM OF THE FLASHING CREATING A LOWER BIB AND SIDE WRAPS TO THE ROUGH OPENING.
- INSTALL NOF JAMB FLASHING FLUSH WITH EDGE OF ROUGH OPENING. BOTTOM TO BE OPTIMALLY 1"-1/2" ABOVE BOTTOM OF BIB FLASHING AND TOP FULL WIDTH OF MATERIAL ABOVE WINDOW ROUGH OPENING.
- 6. INSTALL WINDOW: APPLY CONTINUOUS 1/2" BEAD OF APPROVED SEALANT, ON THE WINDOW NAILING FIN ON THE INTERIOR SIDE OF THE FIN ALONG THE OUTER EDGE OF THE TOP AND SIDES OF THE WINDOW. ON THE BOTTOM NAIL FIN APPLY A DISCONTINUOUS BEAD LEAVING 3" DRAINAGE VENT ON EACH SIDE FROM THE FRAME EDGE (RATHER THAN THE EDGE OF THE NAIL FIN) TOWARDS THE

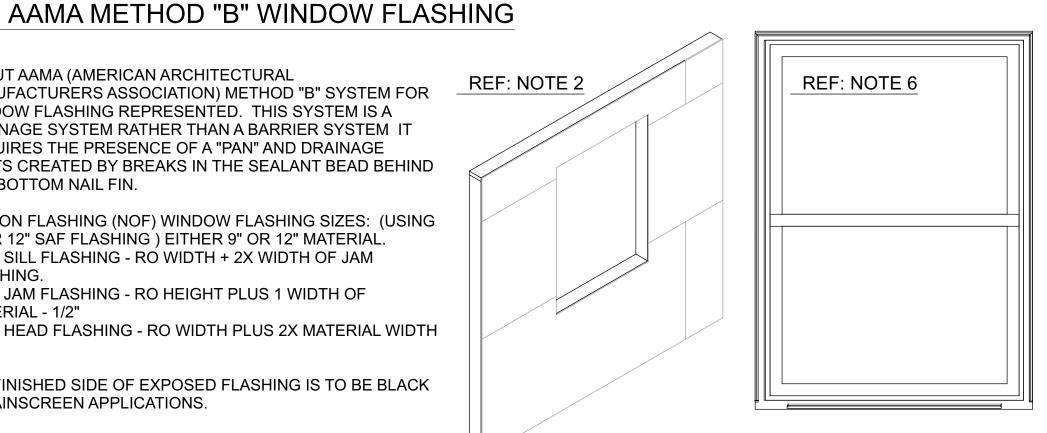
APPLY WINDOW TO THE ROUGH OPENING AND FLASHING, FASTEN WITH GOLD 1 1/2" DECK SCREWS OR 8P GALV. NAILS AT BETWEEN 9-18" PATERN UNLESS OTHERWISE PRESCRIBED BY MFR. SEALANT SQUEEZE-OUT SHOULD BE SEEN AROUND ENTIRE PERIMETER OF WINDOW EXCEPT AT DRAIN VENTS.

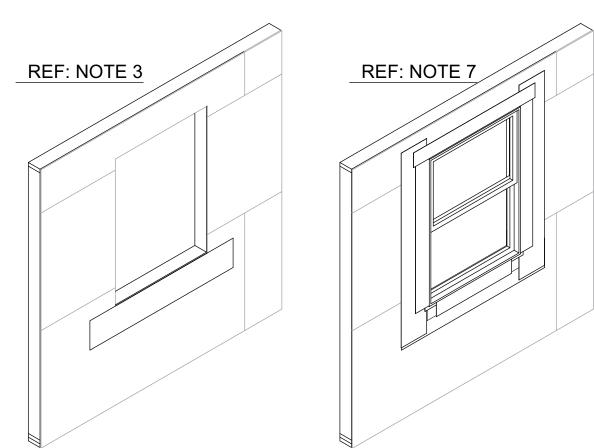
SEAL FRONT OF NAIL FIN: TWO METHODS ARE ACCEPTABLE.

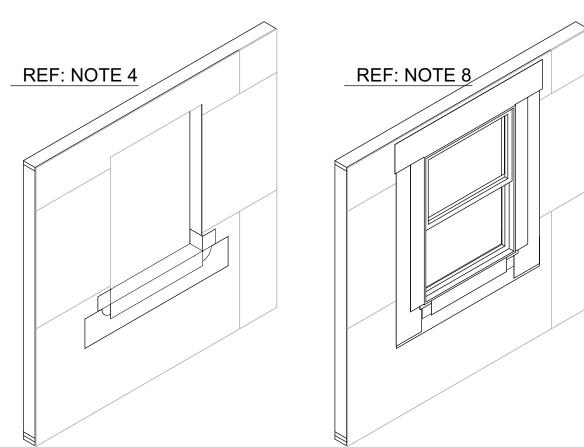
1) REMOVE EXCESS INTERIOR SEALANT BEAD SQEEZE-OUT AND APPLY 6" SAF JAM FLASHING OVER BOTH SIDE NAIL FINS FROM THE BOTTOM OF THE FRAME TO 3" OVER THE TOP OF THE FRAM, THEN APPLY 6" SAF HEAD FLASHING OVER THE TOP NAIL FIN AND AND OVER BOTH JAM SAF FLASHINGS BY 1" TO THE EXTERIOR SIDES. PROVIDE A 6" SAF SILL FLASHING BETWEEN 3" BREAKS IN SILL SEALANT

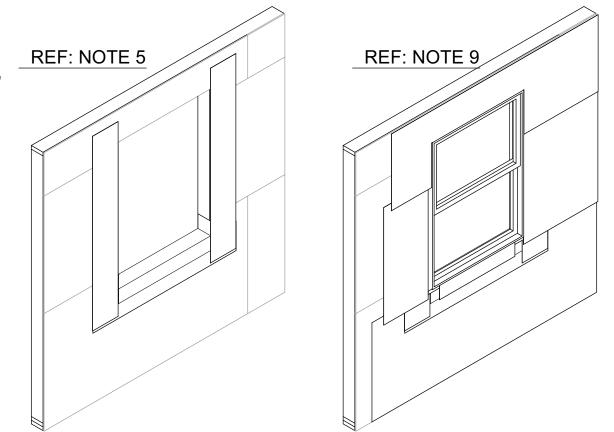
2) APPLY 1/2" BEAD OF SEALANT OVER FASTENER HEADS IN CONTINUOUS BEAD ON TOP AND BOTH SIDES STOPPING AT THE BOTTOM OF THE WINDOW FRAME ALLOWING THE BOTTOM CORNERS UNCOVERED AS A MOISTER DRAIN POINT. TOOL THE SQUEEZE-OUT AND CAP BEAD FROM THE WINDOW FRAME 2" AROUND THE TOP AND SIDES. APPLY 1/2" CAP BEAD OVER NAILS BETWEEN 3" BREAKS IN SILL SEALANT.

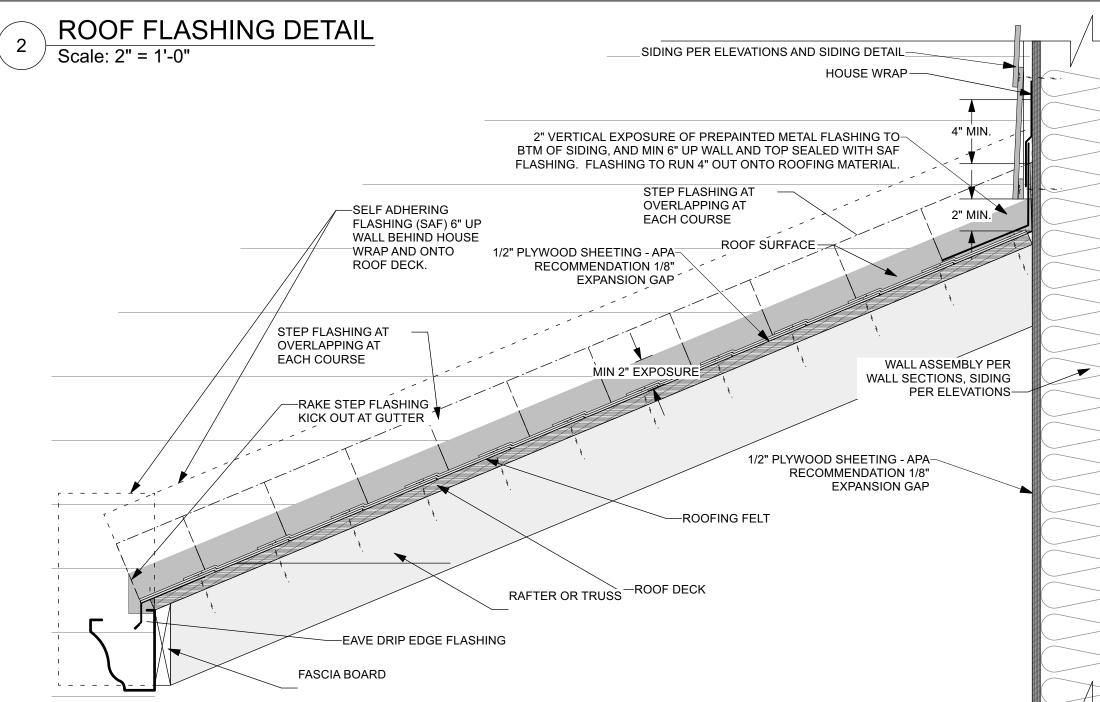
- 8. APPLY TOP NOF AT A WIDTH 1" OVER THE OUTSIDE EDGE OF THE SIDE NOF FLASHING WITH BOTTOM EDGE, FLUSH WITH TOP OF FRAME, INTO THE WET SEALANT.
- APPLY APPROVED MOISTURE BARRIER (HOUSE WRAP). BEGINNING WITH LOWEST COURSE, APPLY HOUSE WRAP TO EDGE OF WINDOW FRAME. 3" OVERLAP AT HORIZONTAL SEAMS AND 6" AT VERICAL SEAMS OR TO MFR SPECS.
- 10. INTERIOR SEALANT: APPLY CONTINUOUS BEAD OF SEALANT TO INTERIOR WINDOW ROUGH OPENING GAP, 3" ABOVE SAF SILL PAN JAM FLASHING DOWN AND ACROSS SILL FLASHING AND UP TO 3" ABOVE OPPOSING JAMB FLASHING. APPLY ADDITIONAL BEAD AROUND REMAINING INTERIOR SIDE OF WINDOW PRESSING SEALANT INTO GAP AND FINISH SMOOTH ALL SEALANT SQEEZE-OUT AND REMOVE EXCESS











12" MIN ABOVE ROOF

O PROVIDE

-ELECTRICAL POWER SOURCE

FOR FUTURE VENT FAN/ALARM

3" OR 4" VENT PIPE ABS OR PVC

ALL PENETRATIONS

SEALED WITH CAULK

**VENT PIPE DRAINAGE** 

AND SEALANT PER

103.4.2.

PER 103.7

RADON DETAIL

VENT PIPE TO BE ACCESSIBLE TO PROVIDE FOR FUTURE FAN

▼ FOR DRAINAGE

6-MIL POLYETHYLENE SOIL GAS RETARDER IN CRAWL SPACE -

LAPPED MIN. 12" AT JOINTS AND

3.) COMBINATION SLAB AND CRAWL SHALL HAVE SEPARATE VENT PIPES IN EACH AREA PER AF 103.10.

FOUNDATION WALLS PER AF

SHALL EXTEND TO ALL

ALL EXPOSED AND VISIBLE INTERIOR RADON VENT PIPES

FLOOR AND IN ACCESSIBLE ATTICS. THE LABEL SHALL READ

SHALL BE IDENTIFIED WITH AT LEAST ONE LABEL EACH

"RADON REDUCTION SYSTEM" AF 103.9

3" OR 4" VENT PIPE PER AFI03.5.3-

SEAL POLYETHYLENE AT PIPE-

**FASTENERS** 

2.) MULTIPLE VENT PIPES PER 103.5.2.

WITH POLYURETHENE SEALER -SECURE W/ MECHANICAL

Scale: 3/8" = 1'-0"

R905.2.2 Slope. Asphalt shingles shall be used only on roof slopes of two units vertical in 12 units horizontal (2:12) or greater. For roof slopes from two units vertical in 12 units horizontal (2:12) up to four units vertical in 12 units horizontal (4:12), double underlayment application is required in accordance with Section R905.2.7.

R905.2.3 Underlayment. Unless otherwise noted, required underlayment shall conform to ASTM D 226 Type I, ASTM D 4869 Type I, or ASTM D 6757.

Self-adhering polymer modified bitumen sheet shall comply with ASTM D 1970.

R905.2.4 Asphalt shingles. Asphalt shingles shall comply with ASTM D 225 or D 3462.

Fasteners for asphalt shingles shall be galvanized steel, stainless steel, aluminum or copper roofing nails, minimum 12 gage [0.105 inch (3 mm)] shank with a minimum 3/8 -inch-diameter (10 mm) head, ASTM F 1667, of a length to penetrate through the roofing materials and a minimum of 3/4 inch (19 mm) into the roof sheathing. Where the roof sheathing is less than

R905.2.6 Attachment.

comply with ASTM F 1667.

Asphalt shingles shall have the minimum number of fasteners required by the manufacturer, but not less than four fasteners per strip shingle or two fasteners per individual shingle. Where the roof slope exceeds 21 units vertical in 12 units horizontal (21:12, 175-percent slope), shingles shall be installed as required by the manufacturer.

3/4 inch (19 mm) thick, the fasteners shall penetrate through the sheathing. Fasteners shall

R905.2.7 Underlayment application.

For roof slopes from two units vertical in 12 units horizontal (17-percent slope), up to four units vertical in 12 units horizontal (33-percent slope), underlayment shall be two layers applied in the following manner. Apply a 19-inch (483 mm) strip of underlayment felt parallel to and starting at the eaves, fastened sufficiently to hold in place. Starting at the eave, apply 36-inch-wide (914 mm) sheets of underlayment, overlapping successive sheets 19 inches (483 mm), and fastened sufficiently to hold in place. Distortions in the underlayment shall not interfere with the ability of the shingles to seal. For roof slopes of four units vertical in 12 units horizontal (33-percent slope) or greater, underlayment shall be one layer applied in the following manner. Underlayment shall be applied shingle fashion, parallel to and starting from the eave and lapped 2 inches (51 mm), fastened sufficiently to hold in place. Distortions in the underlayment shall not interfere with the ability of the shingles to seal. End laps shall be offset by 6 feet (1829 mm).

R905.2.8 Flashing. Flashing for asphalt shingles shall comply with this section

RAILING DETAIL Scale: 1/2" = 1'-0"

HANDRAIL~

**HANDRAILS** 

**GUARDRAILS** 

(B) TERMINATE -

BACK TO WALL

R311.7.8 (Handrails) (A) Handrails having a minimum and maximum heights of 34 inches and 38 inches respectively, measured vertically from the nosing of the treads, shall be provided on at least one side of stairways that have four or more risers. Spiral stairways shall have the required handrail located on the outside radius. All required handrails shall be continuous the full length of the stairs. (B) Ends shall be returned or shall terminate in newel posts or safety terminals. Handrails adjacent to a wall (C) shall have a space of not less than 11/2 inch between the wall and the handrail.

2012 IRC Section R311.7.8

HANDRAILS

1. Handrails shall be permitted to be interrupted by a newel post at a turn. 2. The use of a volute, turnout, starting easing or starting newel shall be allowed over the lowest tread.

R311.7.8.3 (Handrail grip size) Handrails shall have either a circular cross section with a diameter of 1 1/4 inches to 2 inches, or a noncircular cross section with a perimeter dimension of at least 4 inches but not more than 6 1/4 inches and a largest cross section dimension not exceeding 2 1/4

R311.7.9 ILLUMINATION ALI stairs shallb e provided with illumination in accordance wiht Section

R312.1.1 (Guards) (D) Guards shall be provided along open-sided walking surfaces or ground surfaces, mezzanines, industrial equipment platforms, retaining walls, stairways, ramps, landings and any other locations that are located more than 30 inches above the floor or grade below (E) shall have guards not less than 36 inches in height measured vertically above the adjacent walking surface. Porches and decks which are enclosed with insect screening shall be equipped with guards where the walking surface is located more than 30 inches from the floor or grade below.

R312.1.2 (Guardrail opening limitations) (F) required guards on open sides of stairways, raised floor areas, balconies and porches shall have intermediate rails or ornamental closures which do not allow passage of a sphere 4 inches or more in diameter.(G) Spindles at stairway to be spaced such that a 4 3/8" sphere will not pass through when located on side of

1. The triangular openings formed by the riser, tread and bottom rail of a quard at the open side of a stairway may be of such a size that a sphere 6 inches cannot pass through. 2. Openings for required guards on the sides of stair treads shall not allow a sphere 4 3/8" inches to pass through.

**METAL AND GLASS RAILING SYSTEMS** 

Concentrated load in any given direction at any point along the top shall be designed to withstand a min. of uniformly distributed live load = 200 PSF and comply with IBC Sec. 1012.

Manufacturer specifications are by others and to be attached to this plans

**GARAGE SLAB FOUNDATION** STAIR DETAIL **POST DETAIL** Scale: 3" = 1'-0" Scale: 1 1/2" = 1'-0" HARDIE ASPYR BEVEL-

FACE OF DECK FLOOR PER PLAN

AGGREGATE OR OTHER PERMEABLE

-MATERIAL MIN. 4" THICK-SEE AF 103.2

SOIL GAS RETARDER PLACED ON

TOP OF GAS-PERMEABLE LAYER

PRIOR TO CASTING THE SLAB PER

VENT PIPE MIN. 10'-0" AWAY FROM

INTO CONDITIONED SPACES OF

2' BELOW THE EXHAUST POINT

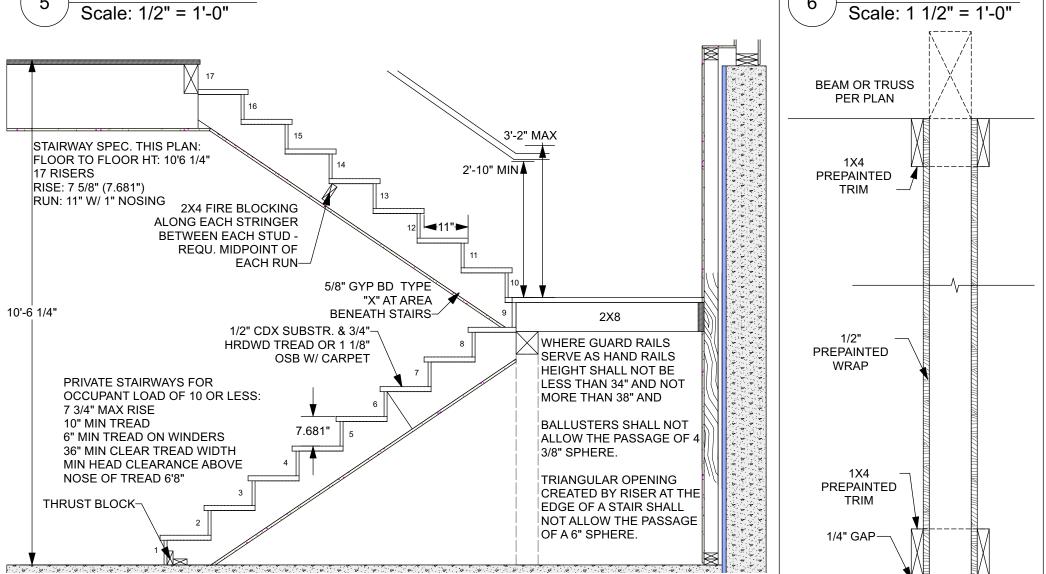
OPENING IN ADJOINING OR

ADJACENT BUILDINGS

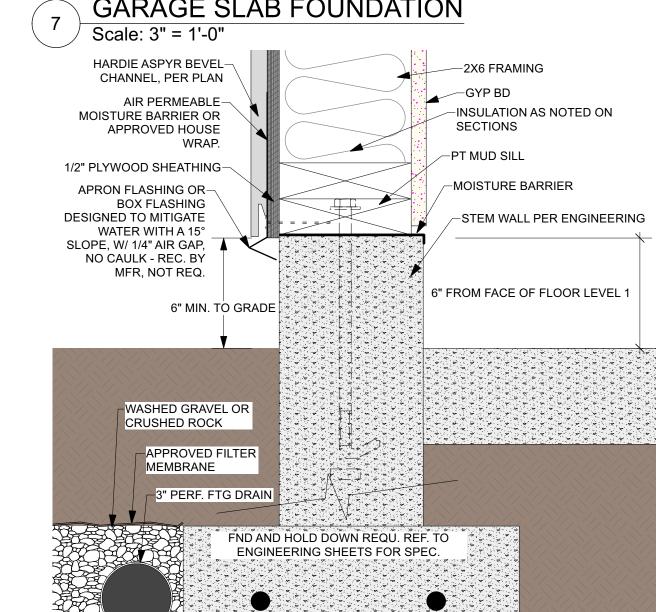
THE BUILDING THAT IS LESS THAN

AND 10'-0" FROM ANY WINDOW OR

ANY WINDOW OR OTHER OPENING



1.) INSTALL RADON VENT PIPES PER UPC (CHAPTER 7 DRAIN PIPING), FOR MATERIALS, FITTING AND INSTALLATION REQUIREMENTS



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ARCH D - 36X24

SHEET DIRECTORY

**COVER SHEET ELEVATIONS** A-01.1 **ELEVATIONS** LEVEL 1 FLOOR PLAN

**BASEMENT PLAN** 

A-03 FND

A-04

LEVEL 1 FLOOR FRAMING

ROOF

**SECTIONS** A-06

DETAILS DETAILS **DETAILS** 

LOT ELEVATIONS

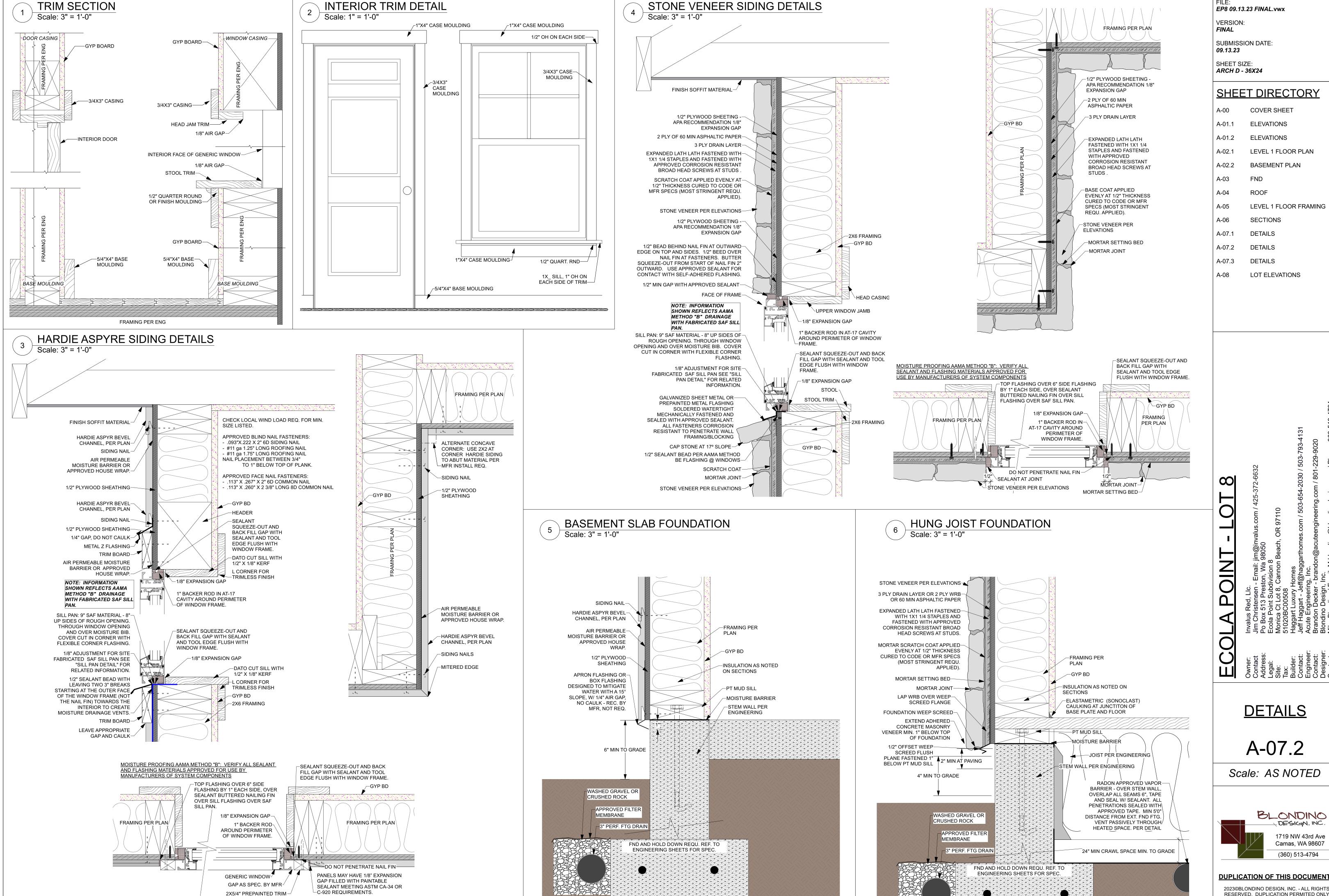
DETAILS

A-07.1

Scale: AS NOTED



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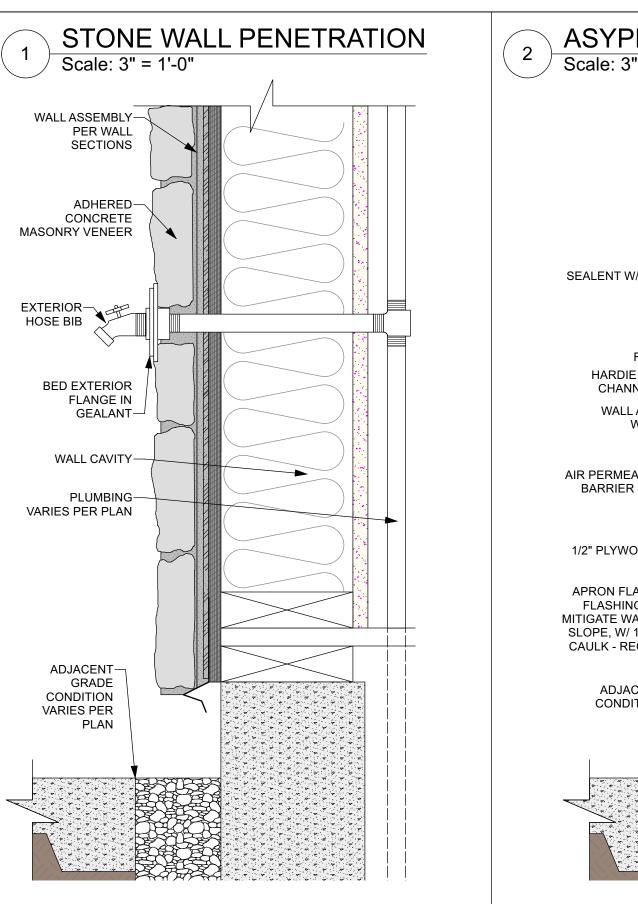
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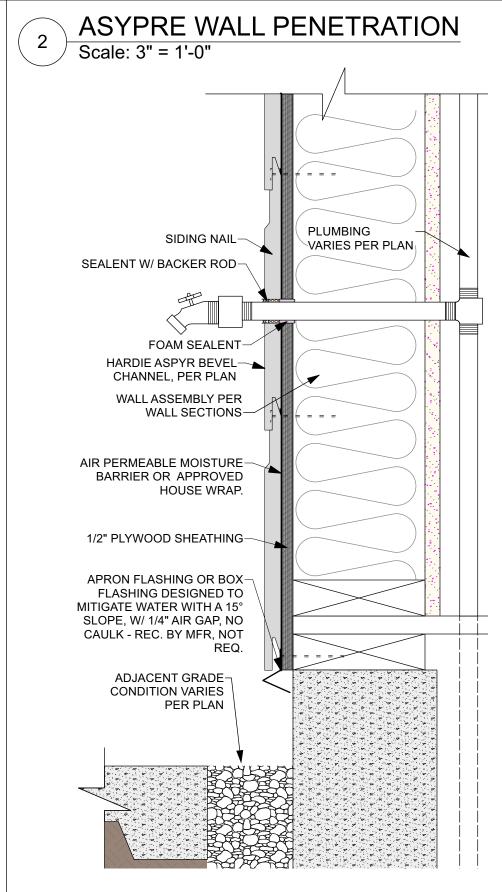
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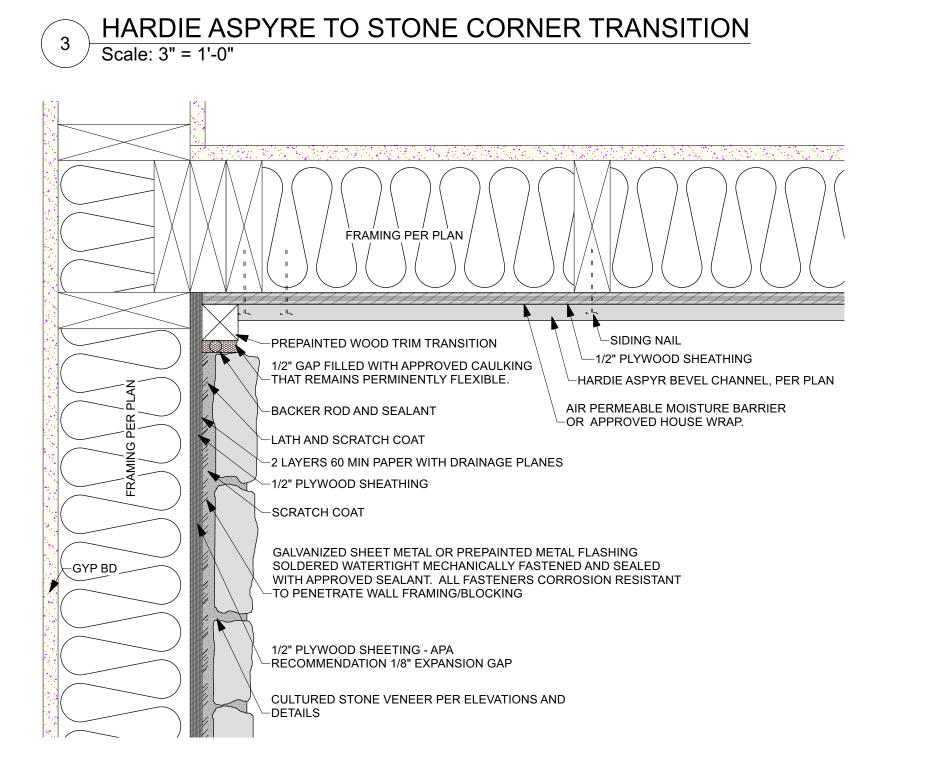
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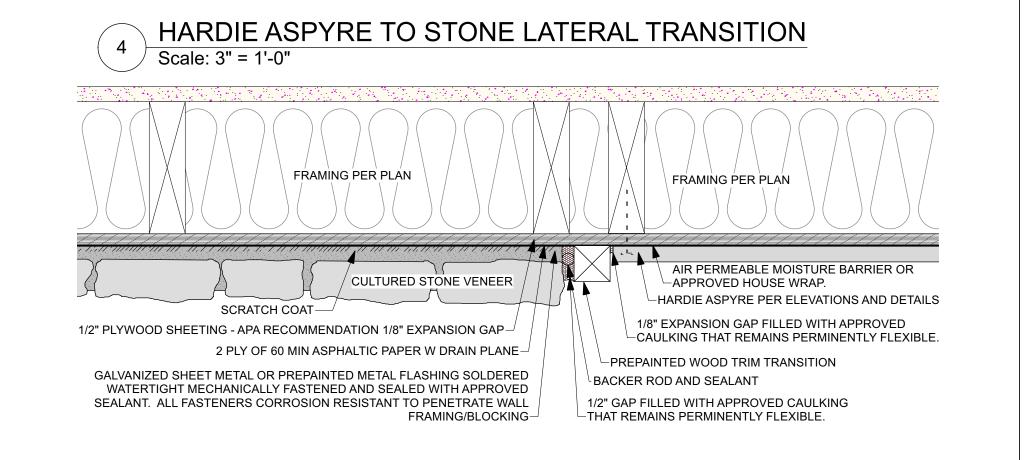
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A-00 COVER SHEET

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A-01.2 ELEVATIONS

A-02.1 LEVEL 1 FLOOR PLAN

A-02.2 BASEMENT PLAN

A-03 FND

A-04 ROOF

A-05 LEVEL 1 FLOOR FRAMING

A-06 SECTIONS

A-07.1 DETAILS

A-07.2 DETAILS

A-07.3 DETAILS

-08 LOT ELEVATIONS

alus.com / 425-372-6632 OR 97110

valus Red, Llc. n Christensen - Email: jim@invalus.com / 4 sox 513 Preston, Wa 98050 sola Point Subdivision 8 onica Ct Lot 8, Cannon Beach, OR 97110 020BC00508

<u>DETAILS</u>

A-07.3

Scale: AS NOTED



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