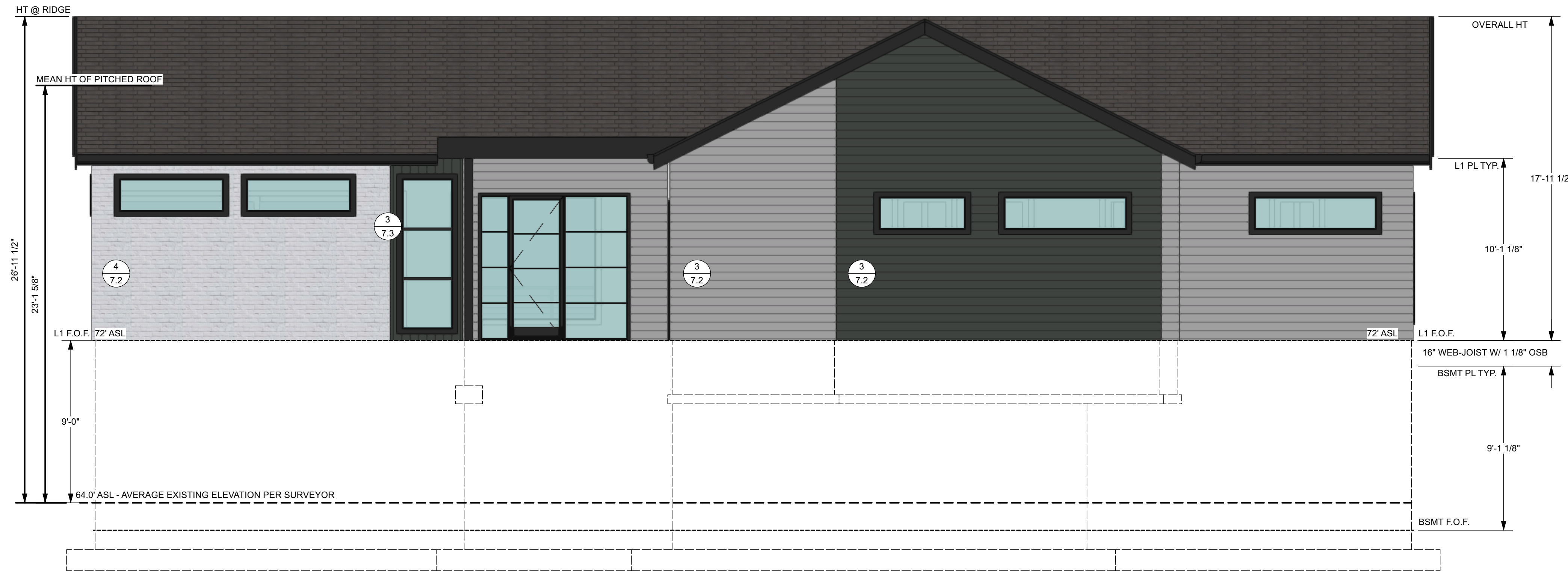




**1 FRONT ELEVATION**  
Scale: 1/4" = 1'-0"



**2 BACK ELEVATION**  
Scale: 1/4" = 1'-0"



**ELEVATION NOTES**

1. SEE ROOF PLAN FOR ROOF PITCHES NOT SPECIFIED.

2. ROOFING  
- ARCHITECTURAL COMPOSITION ASPHALT SHINGLES OR EQUIVALENT ON ALL ROOF SURFACES.

SIDING  
- HARDIE ASPYRE 9" SHIPLAP OR EUIV.  
- STONE VENEER SIDING

TRIM  
- 5/4 X 4 WINDOW AND DOOR TRIM.  
- 5/4 X 4 CORNER BOARDS  
- 2X8 FASCIA BOARD BEHIND ALL GUTTERS  
- 2X8 BARGE RAFTERS

3. INFORMATION SHOWN ON THIS PAGE AND THROUGHOUT THIS DOCUMENT ARE SUBJECT TO ENGINEERING AND MANUFACTURER SPECIFICATIONS. REFER TO ENGINEERING FOR STRUCTURAL SPECIFICATIONS.

4. WINDOWS AND DOORS - REFER TO ROUGH OPENING AND SASH OPERATION ON FLOOR PLAN PAGES

OVERALL HT PER CODE (PER 17.10.040 E)

**AVERAGE NATIVE ELEVATION AT ALL CORNERS AS NOTED ON PLOT: 64.0' A.S.L.**

HT @ RIDGE: 26'11 1/2"

MEAN HT OF PITCHED ROOF FROM EAVES: 23'1 5/8"

17.10.040 E: BUILDING HEIGHT. MAXIMUM HEIGHT OF A VERTICAL STRUCTURE IS TWENTY-FOUR FEET. MEASURED AS THE VERTICAL DISTANCE FROM THE AVERAGE ELEVATION OF EXISTING GRADE TO THE HIGHEST POINT OF A ROOF SURFACE OF A FLAT ROOF, TO THE TOP OF A MANSARD ROOF OR TO THE MEAN HEIGHT LEVEL BETWEEN THE EAVES AND THE RIDGE FOR A PITCHED ROOF. THE RIDGE HEIGHT OF A PITCHED ROOF SHALL NOT EXCEED TWENTY-EIGHT FEET. PITCHED ROOFS ARE CONSIDERED THOSE WITH A 5-12 PITCH OR GREATER.

FILE:  
EP8 09.13.23 FINAL.vwx

VERSION:  
FINAL

SUBMISSION DATE:  
09.13.23

SHEET SIZE:  
ARCH D - 36X24

**SHEET DIRECTORY**

A-00	COVER SHEET
A-01.1	ELEVATIONS
A-01.2	ELEVATIONS
A-02.1	LEVEL 1 FLOOR PLAN
A-02.2	BASEMENT PLAN
A-03	FND
A-04	ROOF
A-05	LEVEL 1 FLOOR FRAMING
A-06	SECTIONS
A-07.1	DETAILS
A-07.2	DETAILS
A-07.3	DETAILS
A-08	LOT ELEVATIONS

**ECOLA POINT - LOT 8**

Invalus Red, Llc.  
Jim Christensen - Email: jim@invalus.com / 425-372-6632  
Contact: Po Box 513 Preston, Wa 98050  
Address: Ecola Point Subdivision 8  
Legal: Monica Ct Lot 8, Cannon Beach, OR 97110  
Site: 51020BC00508  
Tax: Haggart Luxury Homes  
Builder: Jeff Haggart - Jeff@haggarthomes.com / 503-654-2030 / 503-793-4131  
Contact: Acute Engineering, Inc.  
Engineer: Brandon Decker - brandon@acuteengineering.com / 801-229-9020  
Contact: Blondino Design, Inc.  
Designer: Mike Blondino / Email: M.blondino@blondinodesign.com / Phone: 360-513-4794

**ELEVATIONS**

**A-01.1**

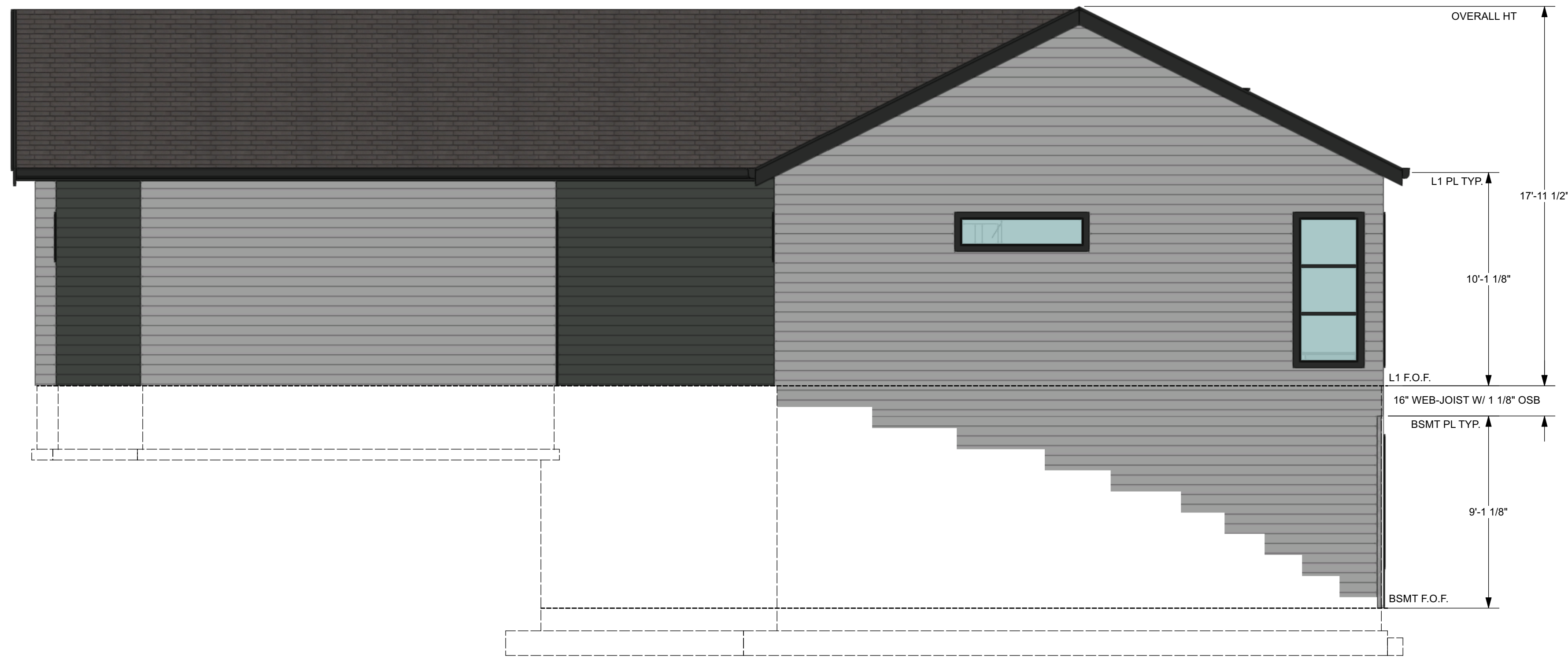
Scale: AS NOTED



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1 RIGHT ELEVATION  
Scale: 1/4" = 1'-0"



**ELEVATION NOTES**

- SEE ROOF PLAN FOR ROOF PITCHES NOT SPECIFIED.
- ROOFING  
- ARCHITECTURAL COMPOSITION ASPHALT SHINGLES OR EQUIVALENT ON ALL ROOF SURFACES.  
  
SIDING  
- HARDIE ASPYRE 9" SHIPLAP OR EUIV.  
- STONE VENEER SIDING

- TRIM  
- 5/4 X 4 WINDOW AND DOOR TRIM.  
- 5/4 X 4 CORNER BOARDS  
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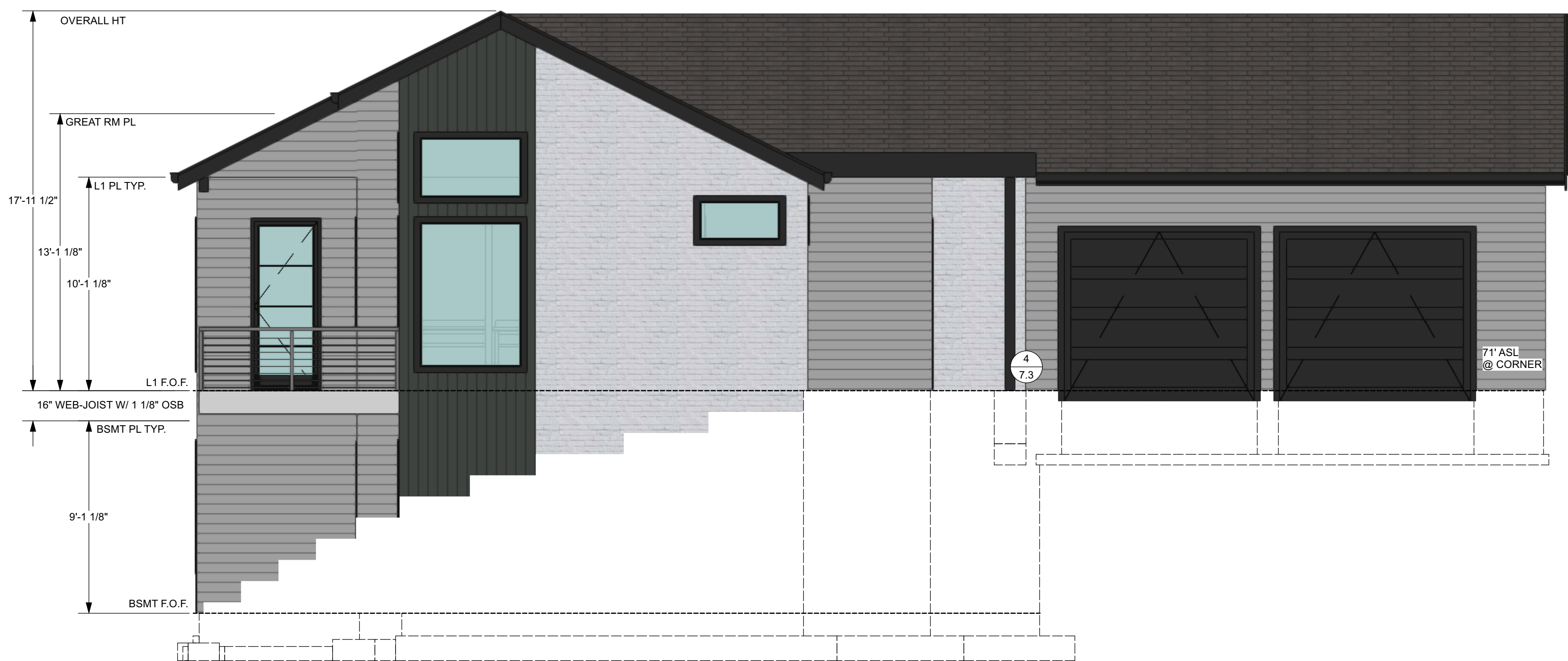
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**09.13.23**  
SHEET SIZE:  
**ARCH D - 36X24**

**SHEET DIRECTORY**

A-00	COVER SHEET
A-01.1	ELEVATIONS
A-01.2	ELEVATIONS
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A-04	ROOF
A-05	LEVEL 1 FLOOR FRAMING
A-06	SECTIONS
A-07.1	DETAILS
A-07.2	DETAILS
A-07.3	DETAILS
A-08	LOT ELEVATIONS

2 LEFT ELEVATION  
Scale: 1/4" = 1'-0"



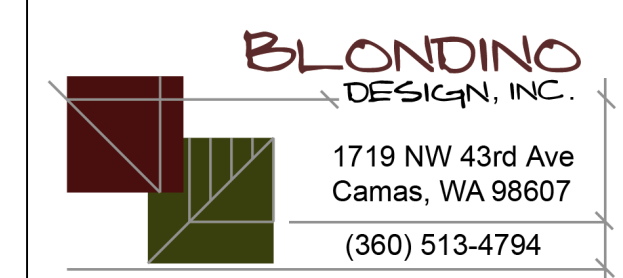
**ECOLA POINT - LOT 8**

Owner:  
Contact:  
Address:  
Legal:  
Site:  
Tax:  
Builder:  
Contact:  
Engineer:  
Contact:  
Designer:  
  
Invalus Red, Llc.  
Jim Christensen - Email: jim@invalus.com / 425-372-6632  
Po Box 513 Preston, Wa 98050  
Ecola Point Subdivision 8  
Monica Ct Lot 8, Cannon Beach, OR 97110  
51020BC00508  
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Acute Engineering, Inc.  
Brandon Decker - brandon@acuteengineering.com / 801-229-9020  
Blondino Design, Inc.  
Mike Blondino / Email: M.blondino@blondinodesign.com / Phone: 360-513-4794

**ELEVATIONS**

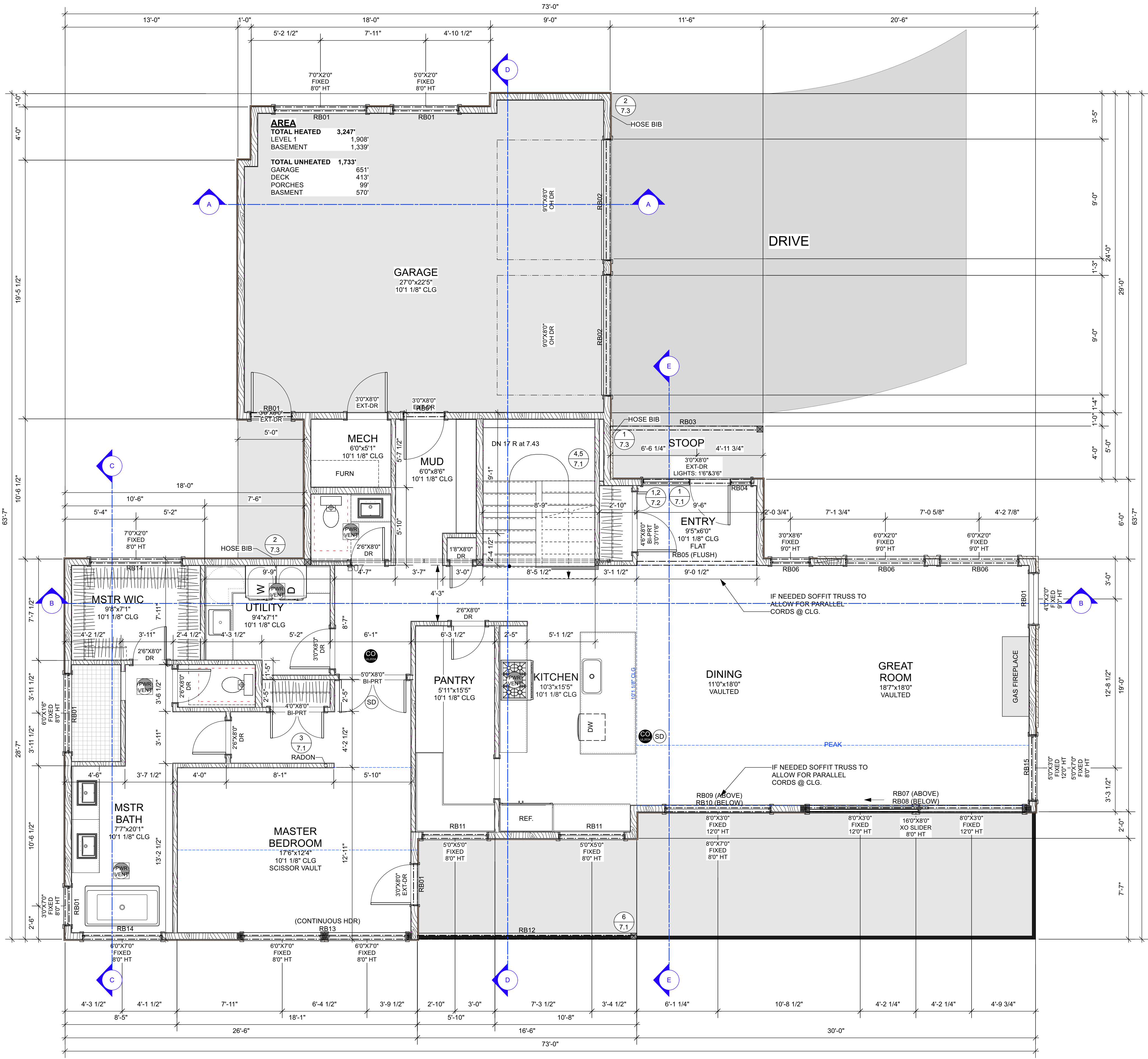
**A-01.2**

Scale: AS NOTED



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**1 LEVEL 1 FLOOR PLAN**  
Scale: 1/4" = 1'-0"



**NOTES FLOOR PLANS**

- ACCESSIBILITY BRACING:** GRAB BAR BRACING SHALL BE 2X10 MATERIAL FLUSH WITH FRAMING HORIZONTALLY INSTALLED AT 34 1/2" FROM FACE OF FLOOR. GRAB BARS WHEN APPLIED ARE TO BE INSTALLED BETWEEN 33" TO 36" FROM THE FACE OF THE FINISHED FLOOR TO THE TOP OF THE GRAB BAR. AROUND SHOWERS, AT BACK AND SIDES OF TOILETS, AND AT ENDS AND SIDE WHERE NOT OBSTRUCTED BY A WINDOW.
- FIREPLACES:** MAKE AND MODELS SHOWN ON FLOOR PLANS. CONSULT MANUFACTURERS SPECIFICATION TO VERIFY ALL FRAMING.
- TEMPERED GLAZING IS REQUIRED UNDER THE FOLLOWING CONDITIONS AS LISTED IN R.308.4 IN THE CURRENT I.R.C.**
  - WINDOWS WITH INDIVIDUAL PANES LARGER THAN 9 SQFT.
  - BOTTOM EDGE OF GLAZING IS LESS THAN 18" ABOVE FLOOR
  - THE TOP EDGE OF THE GLAZING IS MORE THAN 36" ABOVE THE FLOOR OR WALKING SURFACE.
  - ONE OR MORE WALKING SURFACES ARE WITHIN 36" OF THE WINDOW MEASURING IN A STRAIGHT LINE.
  - GLAZED GUARD RAILS, INFILL PANELS BOTH STRUCTURAL AND NON-STRUCTURAL ARE CONSIDERED HAZARDOUS LOCATIONS.
  - ALL GLAZING IN PROXIMITY TO WET SURFACES (HOT TUBS, SPAS, BATHTUBS, SHOWERS, POOLS, ETC...) WHERE GLAZING IS WITHIN 60" OF THE WALKING SURFACE.
  - GLAZING ADJACENT TO STAIRWAYS LESS THAN 36" FROM ABOVE THE PLANE OF WALKING SURFACES.
  - GLAZING ADJACENT TO BOTTOM STAIR LANDINGS.
  - GLAZING WITHIN 24" OF A DOOR MUST BE TEMPERED.
- HANDRAILS TO EXTERIOR AND INTERIOR STAIRS, BALCONIES, AND LOFTS ARE BY OTHERS AND ARE TO COMPLY WITH CODE GEOMETRY FOR SAFETY. SEE STAIR DETAIL FOR REQ.**
- FRAMING:** U.N.O. ALL HEADERS OVER EXTERIOR DOORS AND WINDOWS ARE 4X10.

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ARCH D - 36X24

**SHEET DIRECTORY**

A-00	COVER SHEET
A-01.1	ELEVATIONS
A-01.2	ELEVATIONS
A-02.1	LEVEL 1 FLOOR PLAN
A-02.2	BASEMENT PLAN
A-03	FND
A-04	ROOF
A-05	LEVEL 1 FLOOR FRAMING
A-06	SECTIONS
A-07.1	DETAILS
A-07.2	DETAILS
A-07.3	DETAILS
A-08	LOT ELEVATIONS

**LEGEND**

	FOUNDATION STEM WALL OR BASEMENT WALL
	FOUNDATION FOOTING
	FRAMED INTERIOR WALL - 2"X 6" OR 2"X 4" @ 24" O.C.
	FRAMED EXTERIOR WALL - MASONRY/LAP SIDING
	PARTIAL WALLS
	STONE/BRICK FACING OR WAINSCOT
	SECTION MARKER
	DETAIL MARKER
	R315 SENSOR AND POWERED VENT
	SMOKE DETECTOR (INTERCONNECTED)
	CARBON MONOXIDE DETECTOR UL-2034 COMPLIANT
	DOWN SPOUT
	HVAC SUPPLY PATH
	HVAC CHASE
	OUTLINE OF ROOF
	OUTLINE OF FOUNDATION FOOTINGS
	CENTERLINE
	CLG OUTLINE (RCP)
	POINT LOADS
	FOUNDATION VENT
	CRAWLSPACE/ATTIC ACCESS

**ECOLA POINT - LOT 8**

Invalus Red, Llc.  
Jim Christensen - Email: jim@invalus.com / 425-372-6632  
Contact: Po Box 513 Preston, Wa 98050  
Address: Ecola Point Subdivision 8  
Legal: Monica Cl Lot 8, Cannon Beach, OR 97110  
Site: Haggart Luxury Homes  
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Engineer: Acute Engineering, Inc.  
Designer: Brandon Decker - brandon@acuteengineering.com / 801-229-9020  
Mike Blondino / Email: M.blondino@blondinodesign.com / Phone: 360-513-4794

**LEVEL 1 FLOOR PLAN**

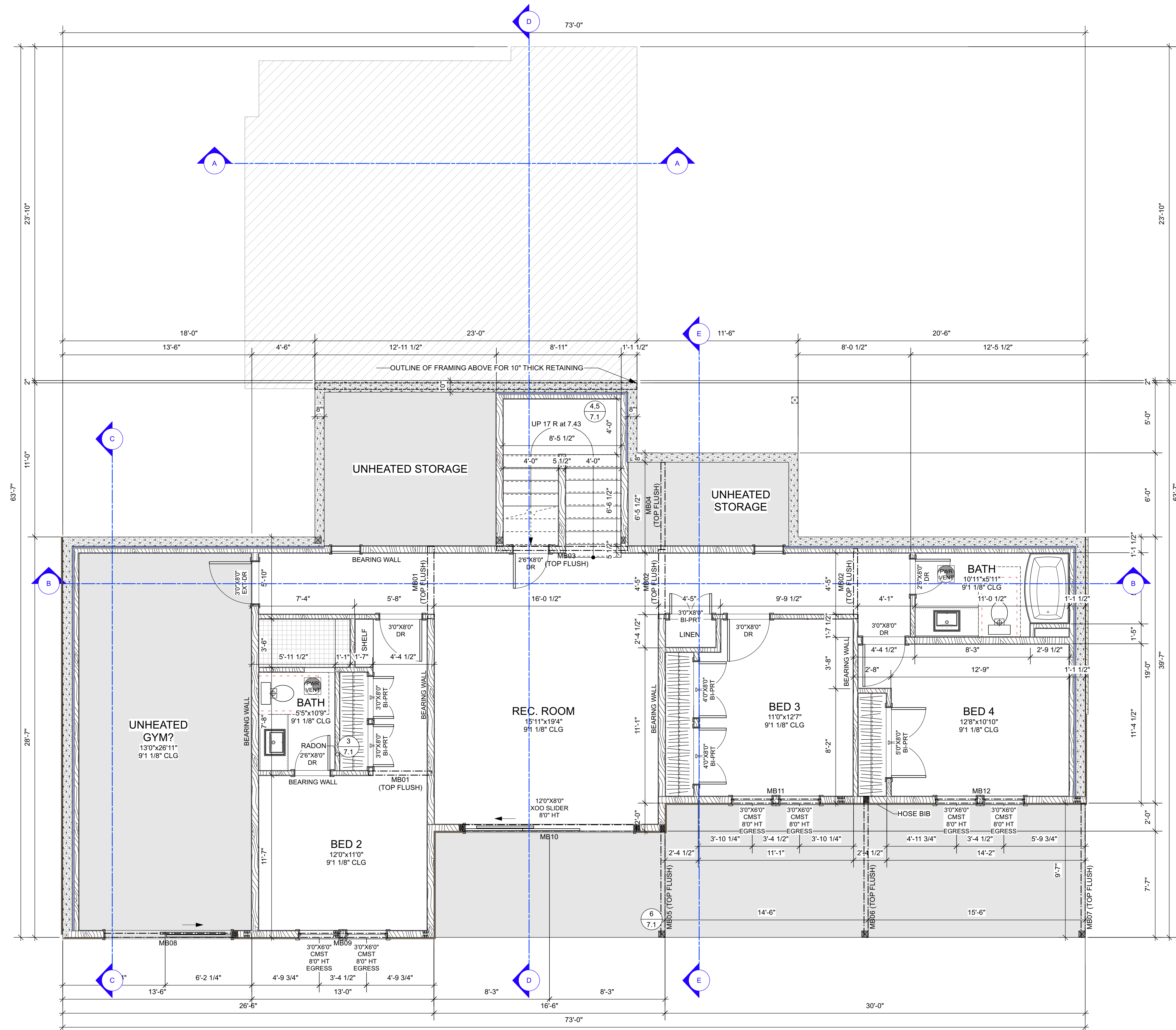
**A-02.1**

Scale: AS NOTED



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**1 BASEMENT FLOOR PLAN**  
Scale: 1/4" = 1'-0"



**NOTES FLOOR PLANS**

- ACCESSIBILITY BRACING:** GRAB BAR BRACING SHALL BE 2X10 MATERIAL FLUSH WITH FRAMING HORIZONTALLY INSTALLED AT 34 1/2" FROM FACE OF FLOOR. GRAB BARS WHEN APPLIED ARE TO BE INSTALLED BETWEEN 33" TO 36" FROM THE FACE OF THE FINISHED FLOOR TO THE TOP OF THE GRAB BAR. AROUND SHOWERS, AT BACK AND SIDES OF TOILETS, AND AT ENDS AND SIDE WHERE NOT OBSTRUCTED BY A WINDOW.
- FIREPLACES:** MAKE AND MODELS SHOWN ON FLOOR PLANS. CONSULT MANUFACTURERS SPECIFICATION TO VERIFY ALL FRAMING.
- TEMPERED GLAZING IS REQUIRED UNDER THE FOLLOWING CONDITIONS AS LISTED IN R.308.4 IN THE CURRENT I.R.C.**
  - WINDOWS WITH INDIVIDUAL PANES LARGER THAN 9 SQFT.
  - BOTTOM EDGE OF GLAZING IS LESS THAN 18" ABOVE FLOOR
  - THE TOP EDGE OF THE GLAZING IS MORE THAN 36" ABOVE THE FLOOR OR WALKING SURFACE.
  - ONE OR MORE WALKING SURFACES ARE WITHIN 36" OF THE WINDOW MEASURING IN A STRAIGHT LINE.
  - GLAZED GUARD RAILS, INFILL PANELS BOTH STRUCTURAL AND NON-STRUCTURAL ARE CONSIDERED HAZARDOUS LOCATIONS.
  - ALL GLAZING IN PROXIMITY TO WET SURFACES (HOT TUBS, SPAS, BATHTUBS, SHOWERS, POOLS, ETC...) WHERE GLAZING IS WITHIN 60" OF THE WALKING SURFACE.
  - GLAZING ADJACENT TO STAIRWAYS LESS THAN 36" FROM ABOVE THE PLANE OF WALKING SURFACES.
  - GLAZING ADJACENT TO BOTTOM STAIR LANDINGS.
  - GLAZING WITHIN 24" OF A DOOR MUST BE TEMPERED.
- HANDRAILS TO EXTERIOR AND INTERIOR STAIRS, BALCONIES, AND LOFTS ARE BY OTHERS AND ARE TO COMPLY WITH CODE GEOMETRY FOR SAFETY. SEE STAIR DETAIL FOR REQ.**
- FRAMING:** U.N.O. ALL HEADERS OVER EXTERIOR DOORS AND WINDOWS ARE 4X10.

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SHEET SIZE:  
ARCH D - 36X24

**SHEET DIRECTORY**

A-00	COVER SHEET
A-01.1	ELEVATIONS
A-01.2	ELEVATIONS
A-02.1	LEVEL 1 FLOOR PLAN
A-02.2	BASEMENT PLAN
A-03	FND
A-04	ROOF
A-05	LEVEL 1 FLOOR FRAMING
A-06	SECTIONS
A-07.1	DETAILS
A-07.2	DETAILS
A-07.3	DETAILS
A-08	LOT ELEVATIONS

**LEGEND**

	FOUNDATION STEM WALL OR BASEMENT WALL
	FOUNDATION FOOTING
	FRAMED INTERIOR WALL - 2"X 6" OR 2"X 4" @ 24" O.C.
	FRAMED EXTERIOR WALL - MASONRY/LAP SIDING
	PARTIAL WALLS
	STONE/BRICK FACING OR WAINSCOT
	SECTION MARKER
	DETAIL MARKER
	R315 SENSOR AND POWERED VENT
	SMOKE DETECTOR (INTERCONNECTED)
	CARBON MONOXIDE DETECTOR UL-2034 COMPLIANT
	DOWN SPOUT
	HVAC SUPPLY PATH
	HVAC CHASE
	OUTLINE OF ROOF
	OUTLINE OF FOUNDATION FOOTINGS
	CENTERLINE
	CLG OUTLINE (RCP)
	POINT LOADS
	FOUNDATION VENT
	CRAWLSPACE/ATTIC ACCESS

**ECOLA POINT - LOT 8**

Owner: Invalus Red, Llc.  
 Contact: Jim Christensen - Email: jim@invalus.com / 425-372-6632  
 Address: Po Box 513 Preston, Wa 98050  
 Legal: Ecola Point Subdivision 8  
 Site: Monica Ct Lot 8, Cannon Beach, OR 97110  
 Builder: Haggart Luxury Homes  
 Engineer: Jeff Haggart - Jeff@haggarthomes.com / 503-654-2030 / 503-793-4131  
 Contact: Acute Engineering, Inc.  
 Designer: Brandon Decker - brandon@acuteengineering.com / 801-229-9020  
 Contact: Blondino Design, Inc.  
 Designer: Mike Blondino / Email: M.blondino@blondinodesign.com / Phone: 360-513-4794

**BASEMENT FLOOR PLAN**

**A-02.2**

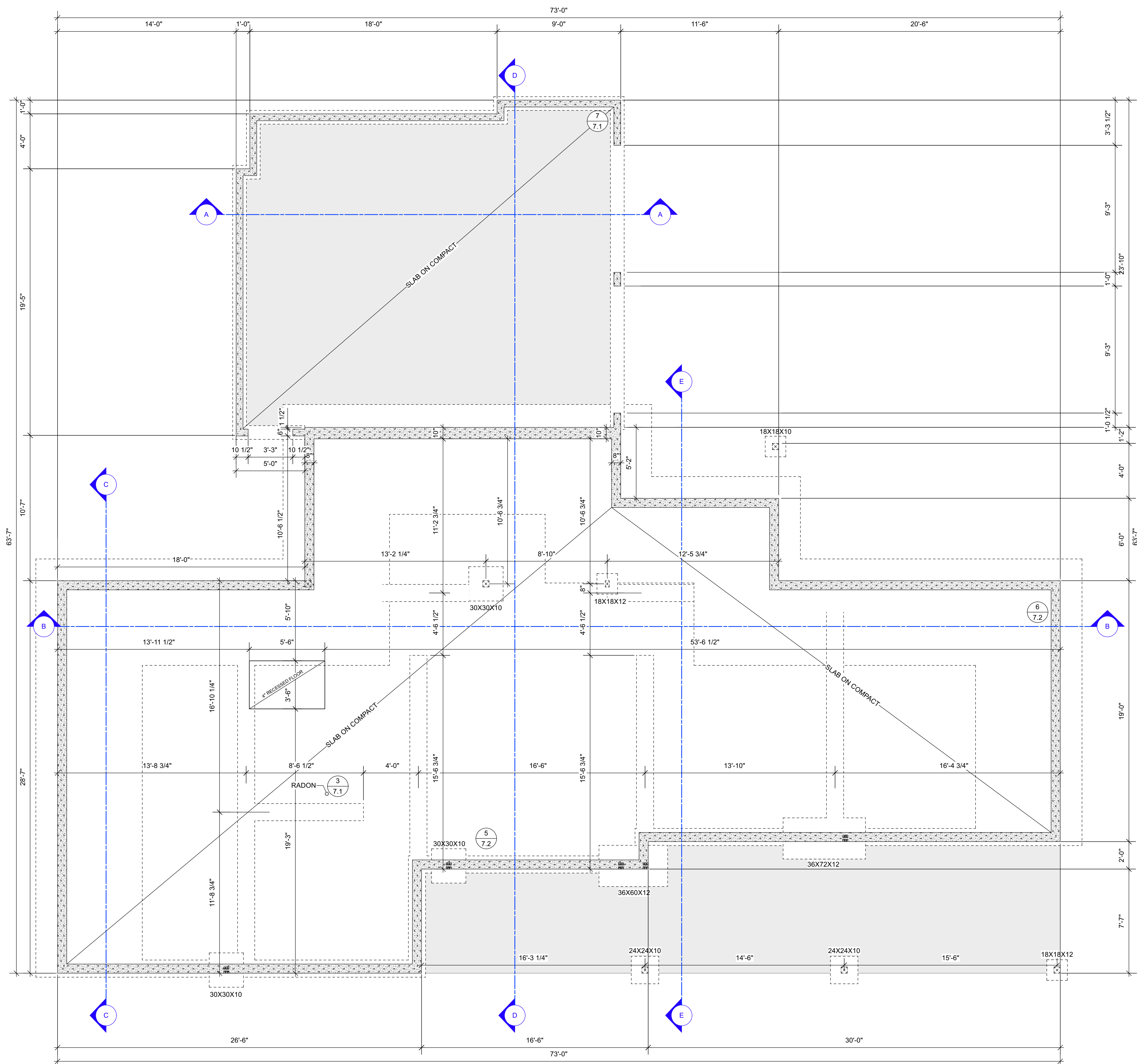
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**1 FOUNDATION PLAN**  
Scale: 1/4" = 1'-0"



**FOUNDATION NOTES**

- VENTING (IRC WAC R408.2). MINIMUM NET AREA OF VENTILATION OPENINGS SHALL NOT BE LESS THAN 1 SQUARE FOOT PER 300 SQUARE FEET OF SPACE.  
  
MAIN LEVEL VENTILATION CALCULATION:  
NO VENTING FOR SLAB
- FOUNDATION DRAINAGE (IRC 405): DRAINS SHALL BE PROVIDED AROUND ALL CONCRETE OR MASONRY FNDs AT OR BELOW THE AREA TO BE PROTECTED. DRAINAGE TILES, GRAVEL, CRUSHED ROCK, PERFORATED PIPE OR OTHER APPROVED SYSTEMS SHALL DISCHARGE TO AN APPROVED DRAINAGE SYSTEM. GRAVEL OR CRUSHED STONE SHALL EXTEND 12" BEYOND THE OUTSIDE EDGE OF THE FOOTING AND 5" ABOVE THE TOP OF THE FOOTING AND BE COVERED WITH AN APPROVED FILTER MEMBRANE MATERIAL. PERFORATED DRAINS SHALL BE SURROUNDED WITH AN APPROVED FILTER MEMBRANE OR THE APPROVED MEMBRANE SHALL COVER THE WASHED GRAVEL OR CRUSHED ROCK COVERING OF THE DRAIN.
- INFORMATION SUBJECT TO ENGINEERING. REFER TO ENGINEER'S SHEET MARKED "S" FOR STRUCTURAL SPECIFICATIONS.
- THE UNDER-FLOOR SPACE BETWEEN THE BOTTOM OF THE FLOOR JOISTS AND THE EARTH UNDER ANY BUILDING (EXCEPT SPACE OCCUPIED BY A BASEMENT) SHALL HAVE VENTILATION OPENINGS THROUGH FOUNDATION WALLS OR EXTERIOR WALLS. THE MINIMUM NET AREA OF VENTILATION OPENINGS SHALL BE NOT LESS THAN 1 SQUARE FOOT FOR EACH 150 SQUARE FEET OF UNDER-FLOOR SPACE AREA, UNLESS THE GROUND SURFACE IS COVERED BY CLASS 1 VAPOR RETARDER MATERIAL, WHERE A CLASS 1 VAPOR RETARDER MATERIAL IS USED, THE MINIMUM NET AREA OF VENTILATION OPENINGS SHALL BE NOT LESS THAN 1 SQUARE FOOT FOR EACH 1,500 SQUARE FEET OF UNDER-FLOOR SPACE AREA. ONE SUCH VENTILATING OPENING SHALL BE WITHIN 3 FEET OF EACH CORNER OF THE BUILDING.
- DOWN SPOUTS CARRY DOWN TO FND, OFFSET ADDITIONAL 4" WHERE THERE IS STONE CLADDING PER ELEVATIONS

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A-01.2	ELEVATIONS
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A-04	ROOF
A-05	LEVEL 1 FLOOR FRAMING
A-06	SECTIONS
A-07.1	DETAILS
A-07.2	DETAILS
A-07.3	DETAILS
A-08	LOT ELEVATIONS

**LEGEND**

	FOUNDATION STEM WALL OR BASEMENT WALL
	FOUNDATION FOOTING
	FRAMED INTERIOR WALL - 2"X 6" OR 2"X 4" @ 24" O.C.
	FRAMED EXTERIOR WALL - MASONRY/LAP SIDING
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 Designer: Blondino Design, Inc.  
 Contact: Mike Blondino / Email: M.blondino@blondinodesign.com / Phone: 360-513-4794

**FOUNDATION PLAN**

**A-03**

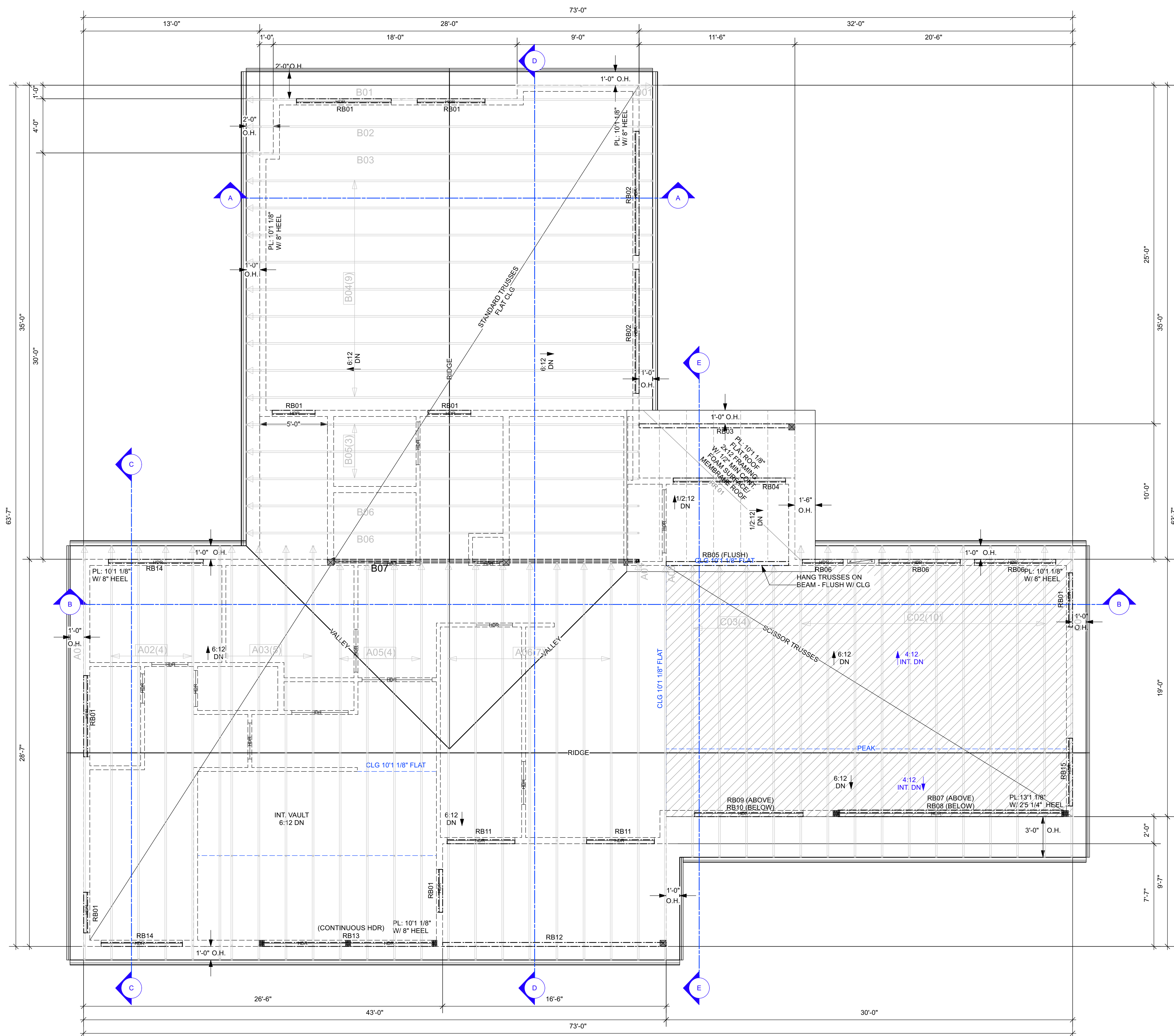
Scale: AS NOTED



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1 ROOF PLAN  
Scale: 1/4" = 1'-0"



**ROOF PLAN NOTES**

1. ALL INFORMATION SUBJECT TO ENGINEERING SHEETS MARKED "S". ALL STRUCTURAL SPECIFICATIONS ARE FOUND THEREIN.
2. TRUSS DESIGN BY OTHERS MAY VARY SLIGHTLY WITH ROOF PLAN. TRUSS LAYOUT TO BE SITE VERIFIED.
3. ROOF PLANE 4:12 OR LESS REQUIRE TWO (2) LAYERS OF ROOFING FELT BENEATH ASPHALTIC SHINGLES.
4. OVERHANGS: U.N.O. OVERHANGS ARE 26"
5. ROOF PLATE HEIGHTS: AS NOTED ON PLAN.
6. HEEL: 8" U.N.O.

**VENTING NOTES**

1. ROOF VENTING: LOW PITCH SINGLE PLANE ROOF TO BE VENTED @ UPPER AND LOWER EAVES PER DETAIL. GABLED ROOF TO BE VENTED AT EAVES AND RIDGE.  
  
THE MIN. NET FREE VENTILATING SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE. THIS MAY BE REDUCED TO 1/300 IF MIN 40% AND MAX 50% OF THE IS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE WITH VENTILATORS LOCATED NO MORE THAN 3'0" BELOW THE RIDGE OR HIGHEST POINT OF THE SPACED MEASURED VERTICALLY.  
  
FOR ONLINE TOOLS GO TO:  
[http://www.gaf.com/Roofing/Residential/Products/Roof\\_Vents/Ventilation\\_Calculator](http://www.gaf.com/Roofing/Residential/Products/Roof_Vents/Ventilation_Calculator)
2. VENT CALCS: 2,894 SQFT AREA / 300 (1:300 MIN) = 9.64 SQ FT VENTILATION X 144 (SQ INCH PER SQFT) 1389 SPLIT 50/50 INTAKE / EXHAUST.  
694.5 SQ INCH VENTILATION INTAKE  
694.5 SQ INCH VENTILATION EXHAUST  
  
IF CONDITIONS DESCRIBED REQ 1:150 RATIO DOUBLE THIS AMOUNT.

**LEGEND**

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	FOUNDATION FOOTING
	FRAMED INTERIOR WALL - 2"X 6" OR 2"X 4" @ 24" O.C.
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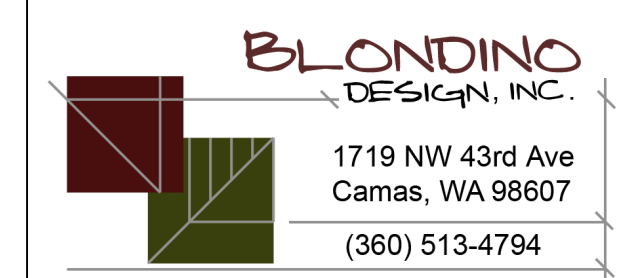
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Engineer: Acute Engineering, Inc.  
Contact: Brandon Decker - brandon@acuteengineering.com / 801-229-9020  
Designer: Blondino Design, Inc.  
Contact: Mike Blondino / Email: M.blondino@blondinodesign.com / Phone: 360-513-4794

**ROOF PLAN**

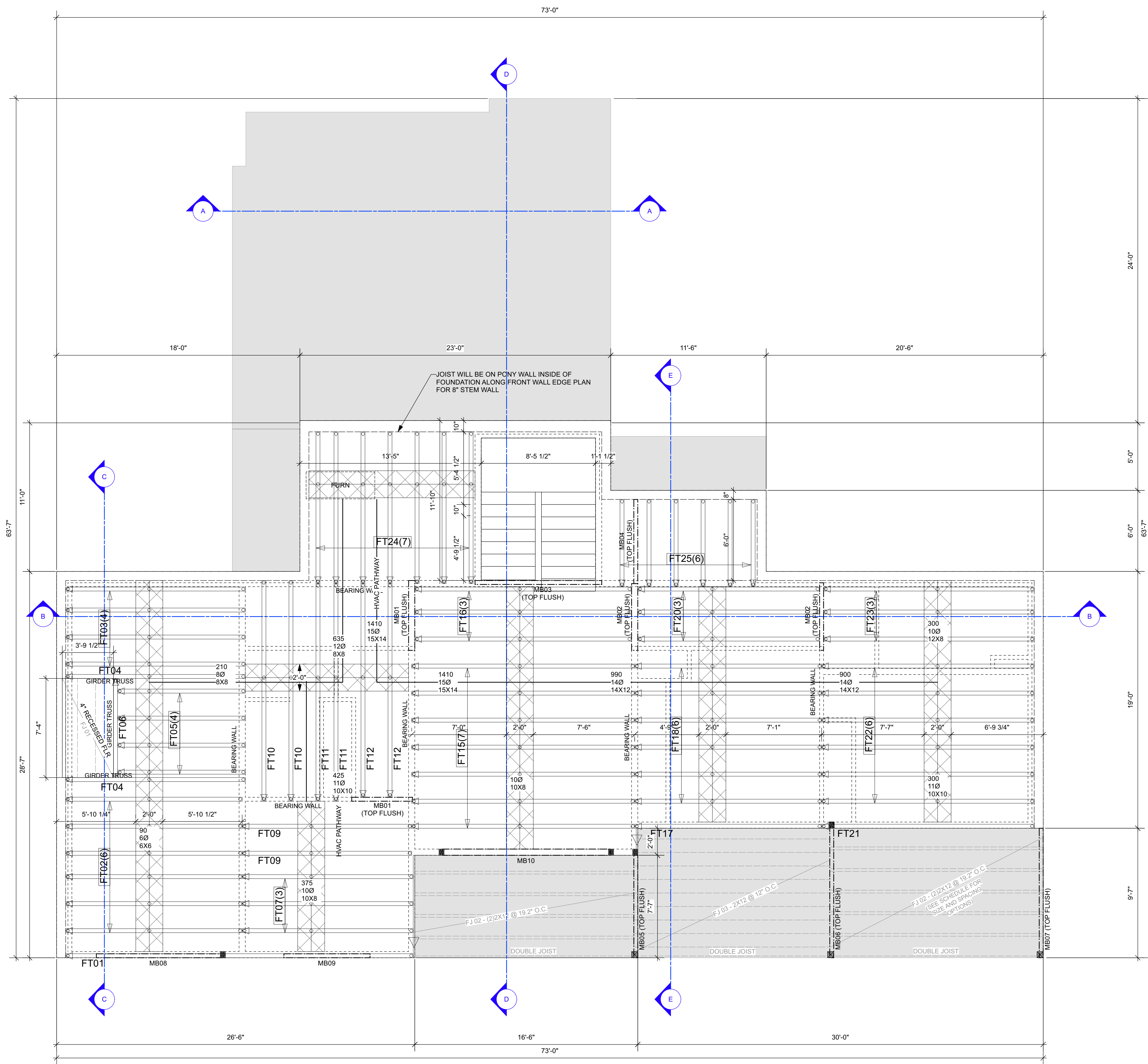
**A-04**

Scale: AS NOTED



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1 LEVEL 1 FLOOR FRAMING  
Scale: 1/4" = 1'-0"



**NOTES FLOOR FRAMING**  
1. INFORMATION SHOWN IS SUBJECT TO ENGINEERING SHEETS MARKED "S".  
2. FLOOR TRUSSES 24" OC REQ FOR HVAC LAYOUT.

**LEGEND**

	FOUNDATION STEM WALL OR BASEMENT WALL
	FOUNDATION FOOTING
	FRAMED INTERIOR WALL - 2"X 6" OR 2"X 4" @ 24" O.C.
	FRAMED EXTERIOR WALL - MASONRY/LAP SIDING
	PARTIAL WALLS
	STONE/BRICK FACING OR WAINSCOT
	SECTION MARKER
	DETAIL MARKER
	R315 SENSOR AND POWERED VENT
	SMOKE DETECTOR (INTERCONNECTED)
	CARBON MONOXIDE DETECTOR UL-2034 COMPLIANT
	DOWN SPOUT
	HVAC SUPPLY PATH
	HVAC CHASE
	OUTLINE OF ROOF
	OUTLINE OF FOUNDATION FOOTINGS
	CENTERLINE
	CLG OUTLINE (RCP)
	POINT LOADS
	FOUNDATION VENT
	CRAWLSPACE/ATTIC ACCESS

**SHEET DIRECTORY**

A-00	COVER SHEET
A-01.1	ELEVATIONS
A-01.2	ELEVATIONS
A-02.1	LEVEL 1 FLOOR PLAN
A-02.2	BASEMENT PLAN
A-03	FND
A-04	ROOF
A-05	LEVEL 1 FLOOR FRAMING
A-06	SECTIONS
A-07.1	DETAILS
A-07.2	DETAILS
A-07.3	DETAILS
A-08	LOT ELEVATIONS

**ECOLA POINT - LOT 8**

Invalus Red, Llc.  
Owner:  
Jim Christensen - Email: jim@invalus.com / 425-372-6632  
Contact:  
Po Box 513 Preston, Wa 98050  
Address:  
Ecota Point Subdivision 8  
Legal:  
Montica Ct Lot 8, Cannon Beach, OR 97110  
Site:  
51020BC00508  
Builder:  
Haggart Luxury Homes  
Contact: Jeff Haggart - Jeff@haggarthomes.com / 503-654-2030 / 503-793-4131  
Engineer:  
Acute Engineering, Inc.  
Contact: Brandon Decker - brandon@acuteengineering.com / 801-229-9020  
Designer:  
Blondino Design, Inc.  
Contact: Mike Blondino / Email: M.blondino@blondinodesign.com / Phone: 360-513-4794

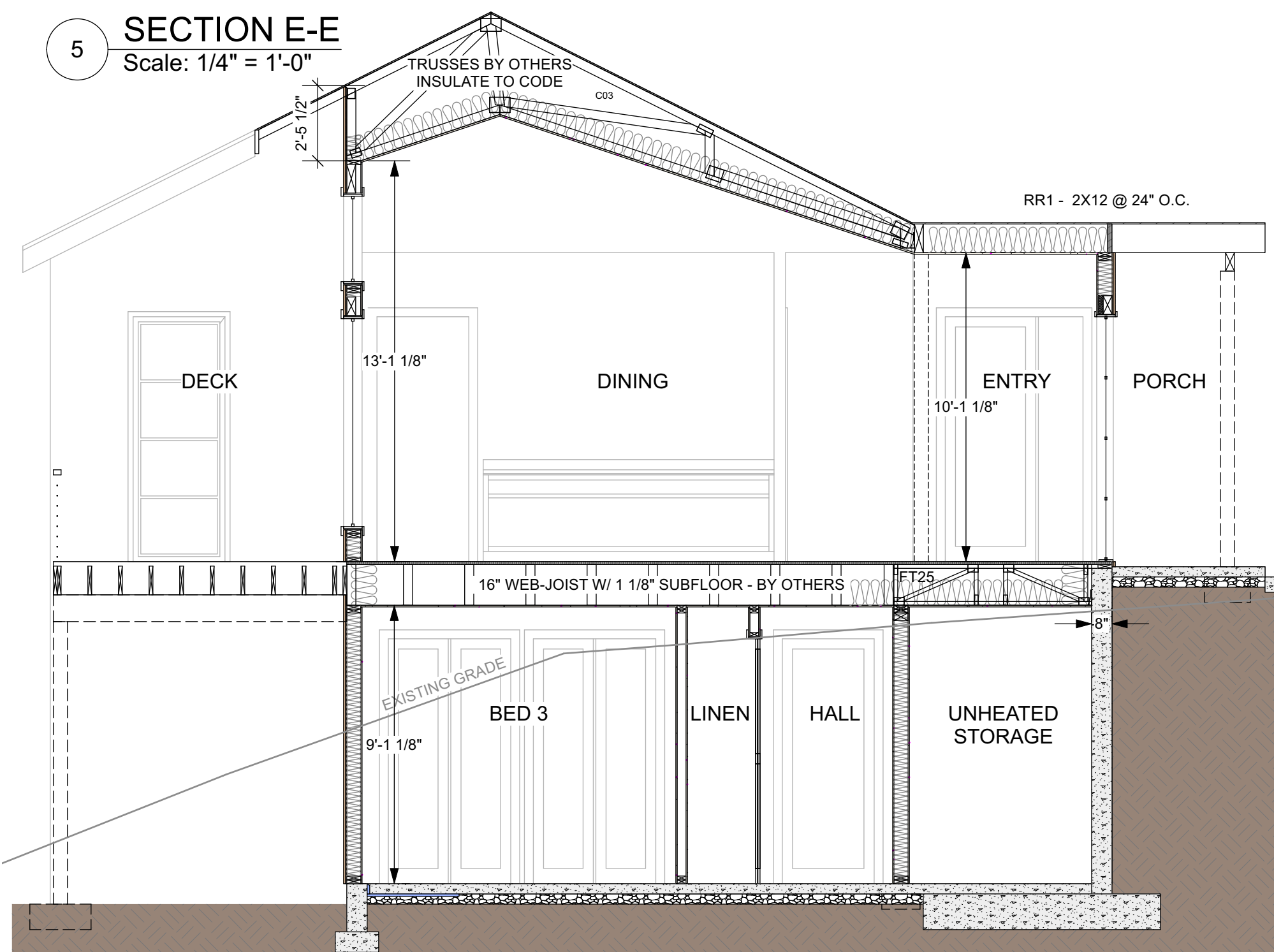
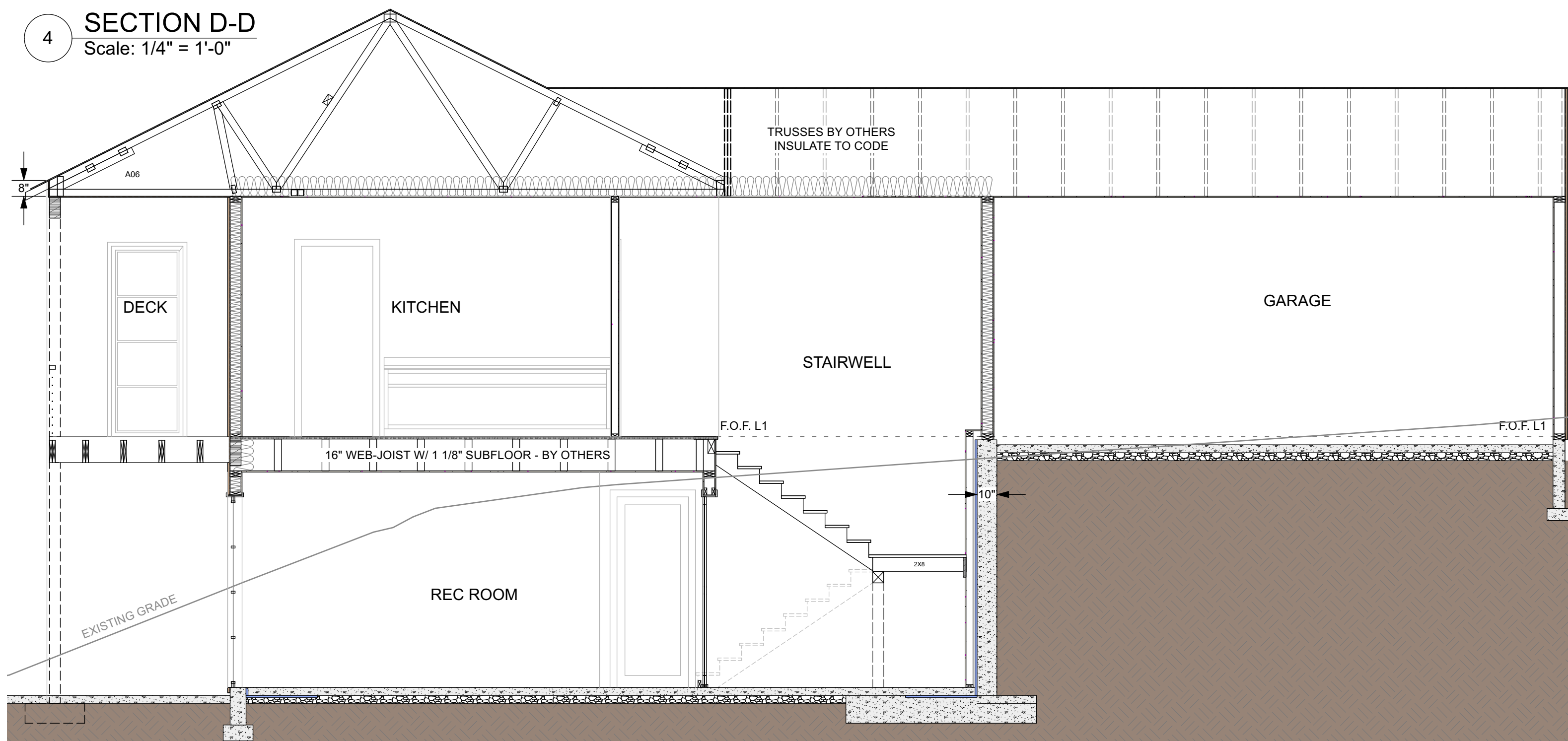
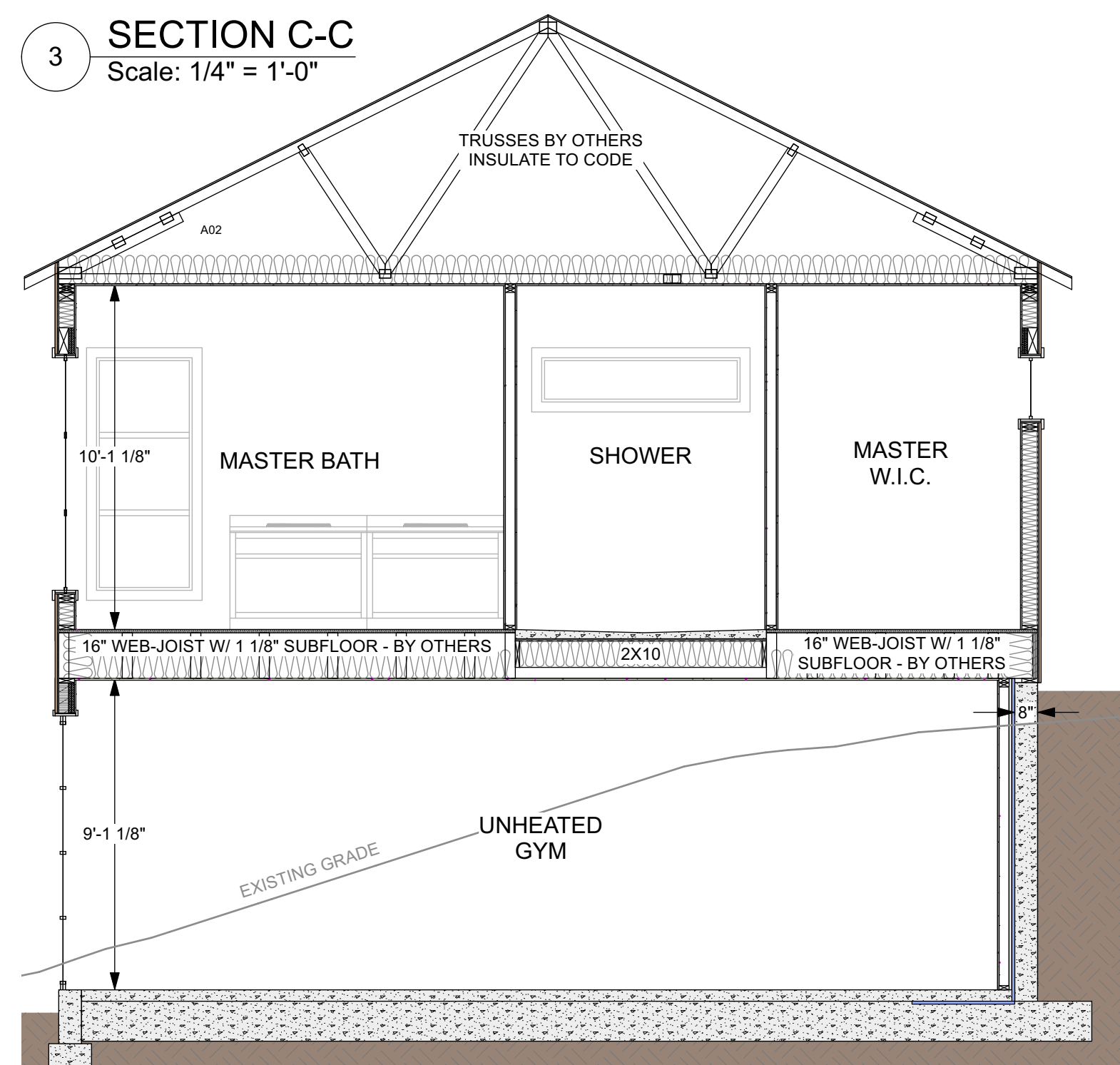
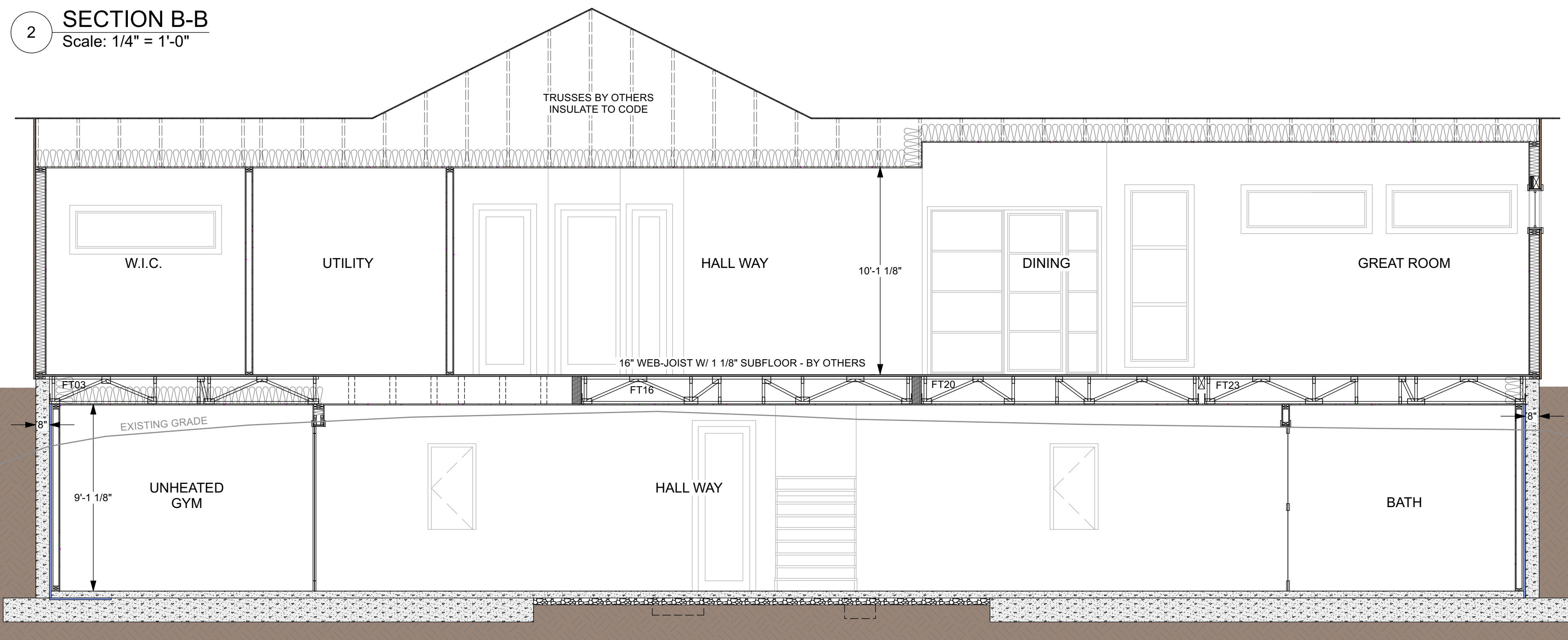
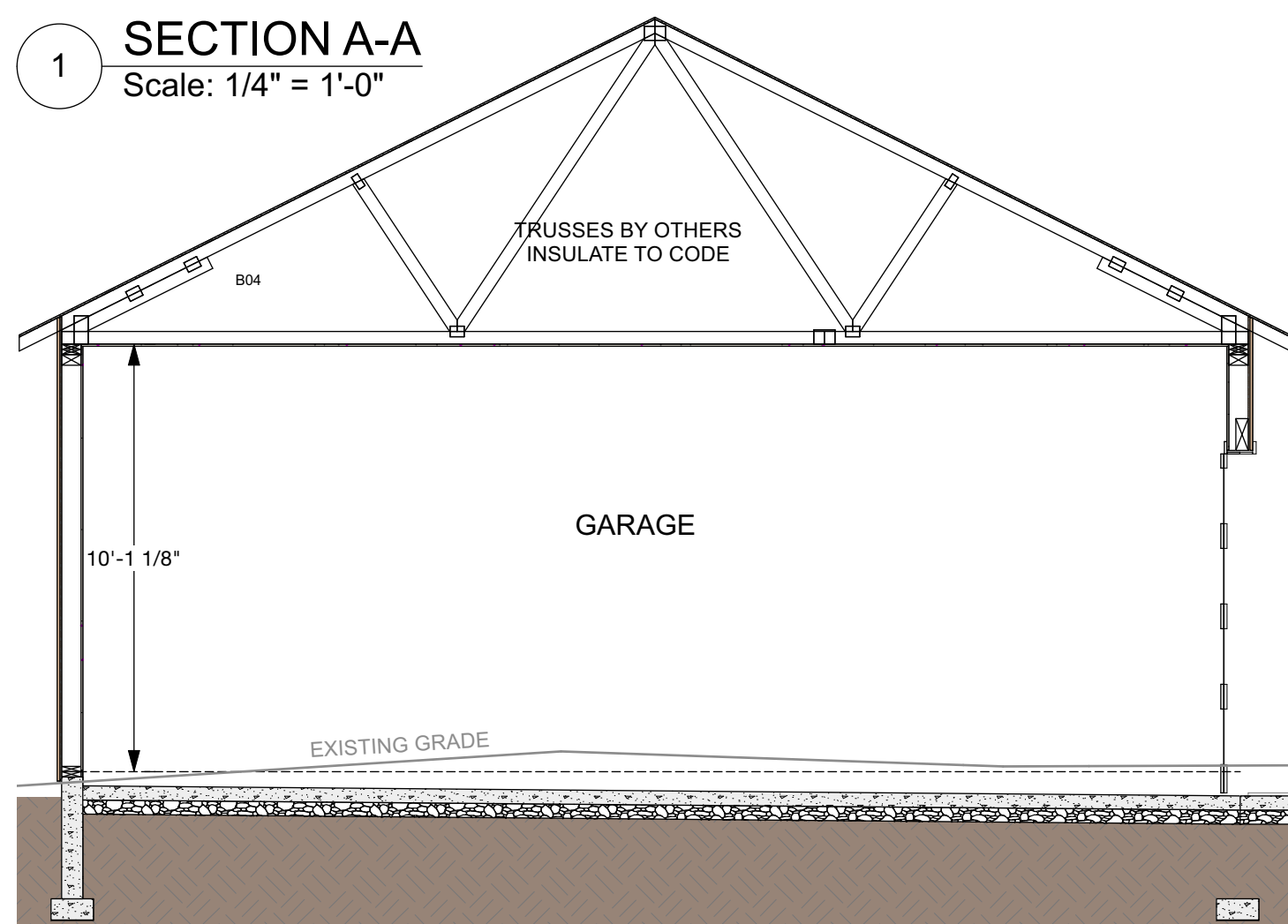
**LEVEL 1 FLOOR FRAMING A-05**  
Scale: AS NOTED

**BLONDINO DESIGN, INC.**  
1719 NW 43rd Ave  
Camas, WA 98607  
(360) 513-4794

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FILE: EP8 09.13.23 FINAL.vwx  
VERSION: FINAL  
SUBMISSION DATE: 09.13.23  
SHEET SIZE: ARCH D - 36X24





**SECTION NOTES**

- ALL INFORMATION SHOWN IS SUBJECT TO ENGINEERING SPECIFICATIONS. FRAMING SPECIFICATIONS, CONNECTIONS, FOUNDATION SIZING, SHEER WALLS, HOLD DOWNS JOIST AND ROOF COMPONENT SPECIFICATIONS AND LAYOUT ARE FOUND IN THE ENGINEERING SHEETS MARKED "S." SECTIONS ARE DIAGRAMMATIC REPRESENTATIONS ONLY.
- INSULATION REQUIREMENTS:  
R - 49 - FLAT CLG  
R - 38 - VAULTED CLG  
R - 38 - FLOORS OVER UNCONDITIONED SPACE  
R - 21 - WOOD FRAMED EXTERIOR WALL  
R - 21 - BELOW GRADE WALL OR R-5 RIGID+R13 BATT INT. SIDE  
R - 15 - SLAB ON GRADE TO 24" INSIDE EXTERIOR WALLS.  
R - 8 - AROUND DUCTS  
R - 4 - UNDER ELECTRIC WATER HEATERS  
U - 0.28 - GLAZING VALUE

**SECTION LEGEND**

	FOUNDATION COMPONENT OR SLAB
	FRAMED INTERIOR WALL - 2X6 OR 2X4 @ 16" OR 24" O.C.
	FRAMED EXTERIOR WALL - 2X6 @ 24" O.C. (ADVANCED FRAMING)
	BATT OR BLOWN INSULATION
	RIGID INSULATION
	DIMENSIONAL LUMBER
	PLYWOOD
	BLOCKING
	GLUELAM (VERIFY ENG.)
	PARALLAM BEAM (VERIFY ENG.)
	IJOIST
	SOIL
	GRAVEL BASE
	OUTLINE OF NOTED INTERIOR CONSIDERATIONS
	CENTERLINE
	HVAC PATHWAY

**SHEET DIRECTORY**

A-00	COVER SHEET
A-01.1	ELEVATIONS
A-01.2	ELEVATIONS
A-02.1	LEVEL 1 FLOOR PLAN
A-02.2	BASEMENT PLAN
A-03	FND
A-04	ROOF
A-05	LEVEL 1 FLOOR FRAMING
A-06	SECTIONS
A-07.1	DETAILS
A-07.2	DETAILS
A-07.3	DETAILS
A-08	LOT ELEVATIONS

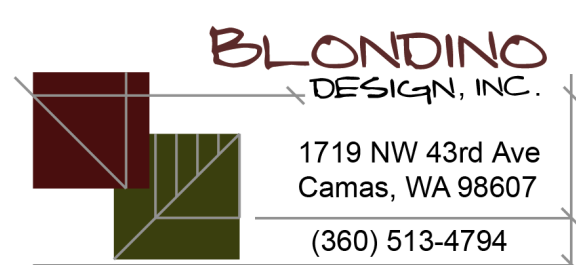
**ECOLA POINT - LOT 8**

Invalus Red, Llc.  
 Owner: Jim Christensen - Email: jim@invalus.com / 425-372-6632  
 Contact: Po Box 513 Preston, Wa 98050  
 Address: Ecola Point Subdivision 8  
 Legal: Monica Ct Lot 8, Cannon Beach, OR 97110  
 Site: 51020BC00508  
 Tax: Haggart Luxury Homes  
 Builder: Jeff Haggart - Email: jhaggart@haggarthomes.com / 503-654-2030 / 503-793-4131  
 Engineer: Acute Engineering, Inc.  
 Contact: Brandon Decker - brandon@acuteengineering.com / 801-229-9020  
 Designer: Blondino Design, Inc.  
 Contact: Mike Blondino / Email: M.blondino@blondinodesign.com / Phone: 360-513-4794

**SECTIONS**

**A-06**

Scale: AS NOTED



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8 AAMA METHOD "B" WINDOW FLASHING

1. ABOUT AAMA (AMERICAN ARCHITECTURAL MANUFACTURERS ASSOCIATION) METHOD "B" SYSTEM FOR WINDOW FLASHING REPRESENTED. THIS SYSTEM IS A DRAINAGE SYSTEM RATHER THAN A BARRIER SYSTEM IT REQUIRES THE PRESENCE OF A "PAN" AND DRAINAGE VENTS CREATED BY BREAKS IN THE SEALANT BEAD BEHIND THE BOTTOM NAIL FIN.

NAIL ON FLASHING (NOF) WINDOW FLASHING SIZES: (USING 9" OR 12" SAF FLASHING ) EITHER 9" OR 12" MATERIAL.  
 \*NOF SILL FLASHING - RO WIDTH + 2X WIDTH OF JAM FLASHING.  
 \*NOF JAM FLASHING - RO HEIGHT PLUS 1 WIDTH OF MATERIAL - 1/2"  
 \*NOF HEAD FLASHING - RO WIDTH PLUS 2X MATERIAL WIDTH + 2"

ALL FINISHED SIDE OF EXPOSED FLASHING IS TO BE BLACK IN RAINSCREEN APPLICATIONS.

TO AVOID MATERIAL CONFLICT USE ONLY APPROVED SEALANTS WITH SAF FLASHING. INCORRECT SEALANTS MAY LIQUIFY SAF FLASHING.

INFORMATION HEREIN SUBJECT TO MANUFACTURER SPECIFICATIONS. WHERE CONFLICTS OCCUR DEFAULT TO MOST STRINGENT REQUIREMENTS.

2. ROUGH OPENING: ROUGH OPENING FOR WINDOWS IS TO BE 1/2" TALLER AND 1/4" ON EACH SIDE (1/2" O.A.) WITHOUT A PAN SYSTEM; WITH A PAN SYSTEM 3/8" ON EACH SIDE (3/4" O.A.) TO ALLOW FOR RIGID CORNER SYSTEM WITH SAF PAN OR METAL PAN. ROUGH SILL IS TO BE LEVEL.

3. NAIL ON FLASHING AT SILL PLATE: FASTEN (STAPLE) A 12" FLASHING BIB TOP FLUSH WITH THE BOTTOM EDGE OF THE ROUGH OPENING. THIS ANTICIPATES GRADE D BUILDING PAPER WILL BE INSTALLED AFTER THE COMPLETION OF THE WINDOW FLASHING AND WILL BE TUCKED UNDER HOUSE WRAP.

4. INSTALL PAN SYSTEM: NAIL IN PRE-MADE FLEXIBLE FLASHING CORNERS SNUGGLY AT BOTH SIDES OF THE ROUGH OPENING AT THE SILL. INSTALL 12" SAF SHEET INSIDE THE FULL DEPTH OF THE ROUGH OPENING. CUT AT THE CORNER TO THE BOTTOM OF THE FLASHING CREATING A LOWER BIB AND SIDE WRAPS TO THE ROUGH OPENING.

5. INSTALL NOF JAMB FLASHING FLUSH WITH EDGE OF ROUGH OPENING. BOTTOM TO BE OPTIMALLY 1"-1/2" ABOVE BOTTOM OF BIB FLASHING AND TOP FULL WIDTH OF MATERIAL ABOVE WINDOW ROUGH OPENING.

6. INSTALL WINDOW: APPLY CONTINUOUS 1/2" BEAD OF APPROVED SEALANT, ON THE WINDOW NAILING FIN ON THE INTERIOR SIDE OF THE FIN ALONG THE OUTER EDGE OF THE TOP AND SIDES OF THE WINDOW. ON THE BOTTOM NAIL FIN APPLY A DISCONTINUOUS BEAD LEAVING 3" DRAINAGE VENT ON EACH SIDE FROM THE FRAME EDGE (RATHER THAN THE EDGE OF THE NAIL FIN) TOWARDS THE INTERIOR.

APPLY WINDOW TO THE ROUGH OPENING AND FLASHING, FASTEN WITH GOLD 1 1/2" DECK SCREWS OR 8P GALV. NAILS AT BETWEEN 9-18" PATTERN UNLESS OTHERWISE PRESCRIBED BY MFR. SEALANT SQUEEZE-OUT SHOULD BE SEEN AROUND ENTIRE PERIMETER OF WINDOW EXCEPT AT DRAIN VENTS.

7. SEAL FRONT OF NAIL FIN: TWO METHODS ARE ACCEPTABLE.

1) REMOVE EXCESS INTERIOR SEALANT BEAD SQUEEZE-OUT AND APPLY 6" SAF JAM FLASHING OVER BOTH SIDE NAIL FIN FROM THE BOTTOM OF THE FRAME TO 3" OVER THE TOP OF THE FRAM, THEN APPLY 6" SAF HEAD FLASHING OVER THE TOP NAIL FIN AND AND OVER BOTH JAM SAF FLASHINGS BY 1" TO THE EXTERIOR SIDES. PROVIDE A 6" SAF SILL FLASHING BETWEEN 3" BREAKS IN SILL SEALANT.

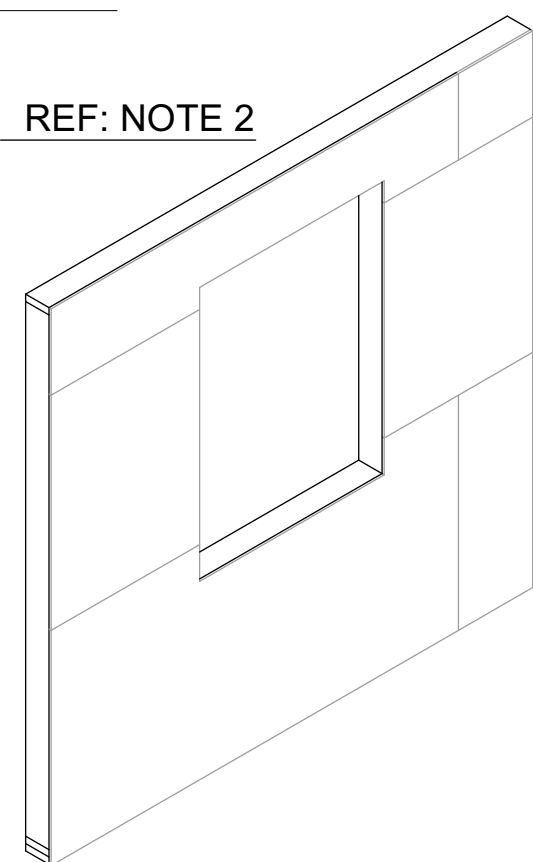
2) APPLY 1/2" BEAD OF SEALANT OVER FASTENER HEADS IN CONTINUOUS BEAD ON TOP AND BOTH SIDES STOPPING AT THE BOTTOM OF THE WINDOW FRAME ALLOWING THE BOTTOM CORNERS UNCOVERED AS A MOISTURE DRAIN POINT. TOOL THE SQUEEZE-OUT AND CAP BEAD FROM THE WINDOW FRAME 2" AROUND THE TOP AND SIDES. APPLY 1/2" CAP BEAD OVER NAILS BETWEEN 3" BREAKS IN SILL SEALANT.

8. APPLY TOP NOF AT A WIDTH 1" OVER THE OUTSIDE EDGE OF THE SIDE NOF FLASHING WITH BOTTOM EDGE, FLUSH WITH TOP OF FRAME, INTO THE WET SEALANT.

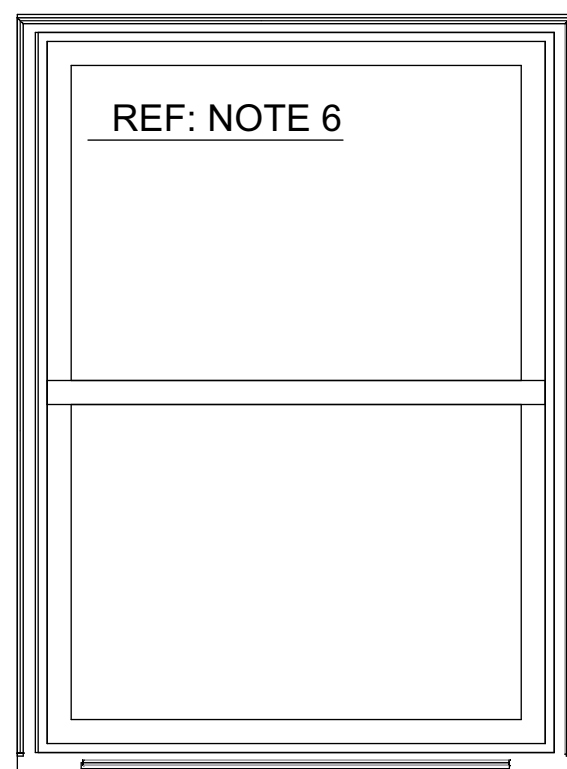
9. APPLY APPROVED MOISTURE BARRIER (HOUSE WRAP). BEGINNING WITH LOWEST COURSE, APPLY HOUSE WRAP TO EDGE OF WINDOW FRAME. 3" OVERLAP AT HORIZONTAL SEAMS AND 6" AT VERTICAL SEAMS OR TO MFR SPECS.

10. INTERIOR SEALANT: APPLY CONTINUOUS BEAD OF SEALANT TO INTERIOR WINDOW ROUGH OPENING GAP, 3" ABOVE SAF SILL PAN JAM FLASHING DOWN AND ACROSS SILL FLASHING AND UP TO 3" ABOVE OPPOSING JAMB FLASHING. APPLY ADDITIONAL BEAD AROUND REMAINING INTERIOR SIDE OF WINDOW PRESSING SEALANT INTO GAP AND FINISH SMOOTH ALL SEALANT SQUEEZE-OUT AND REMOVE EXCESS.

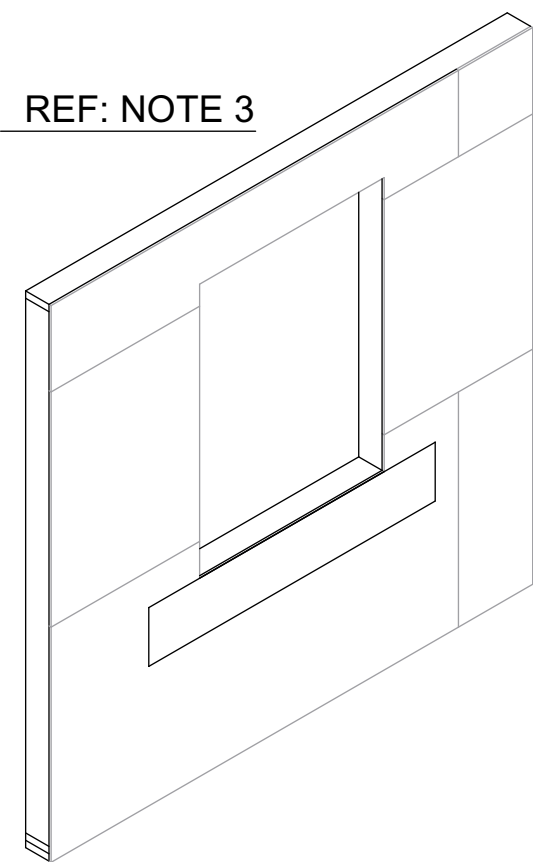
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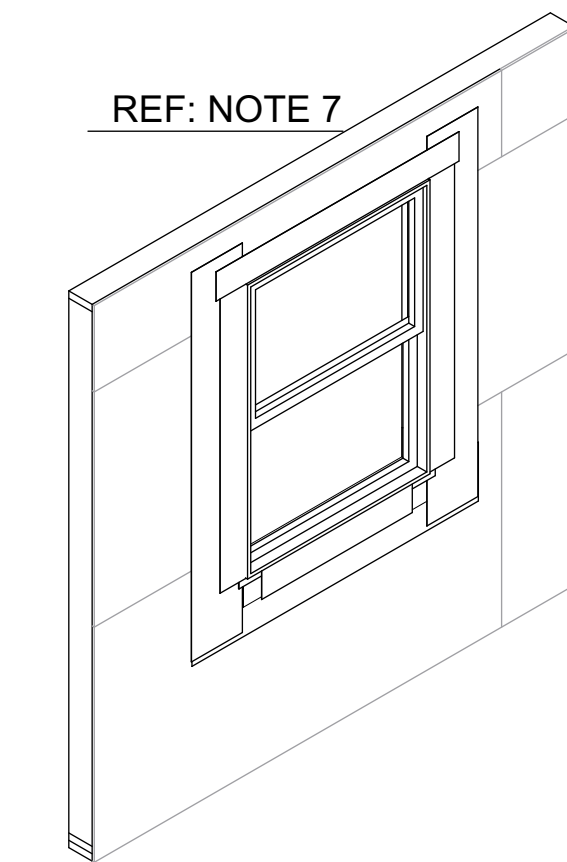
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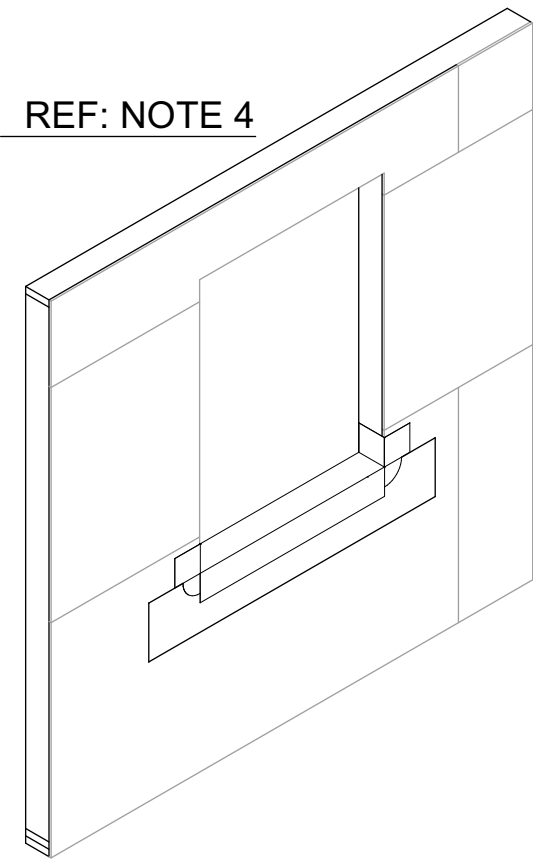
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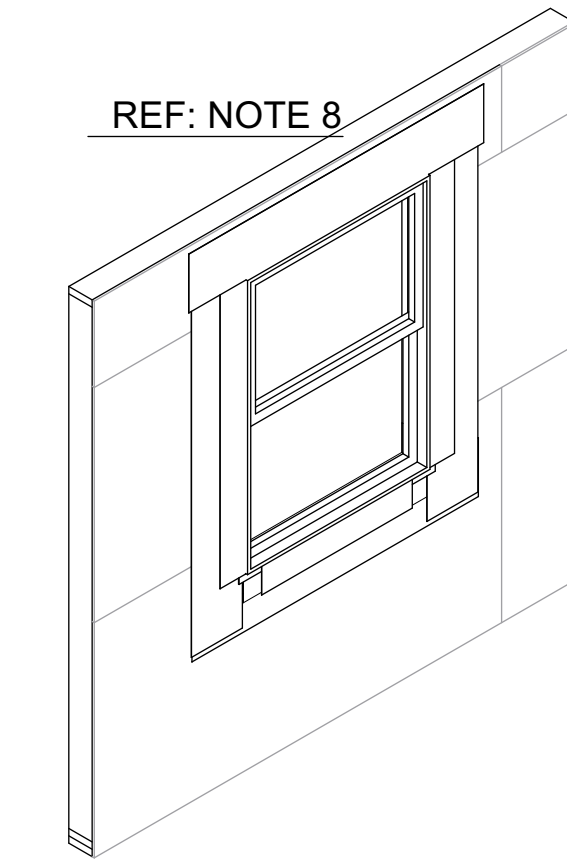
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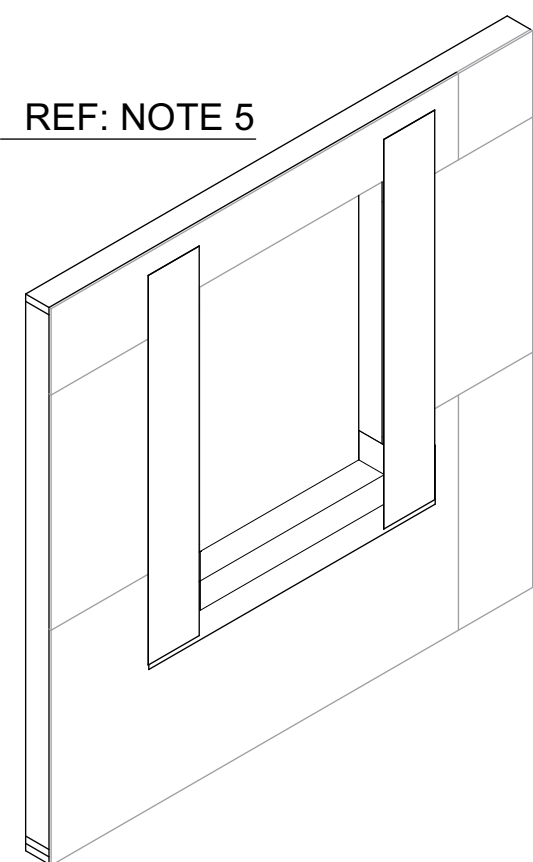
REF: NOTE 4



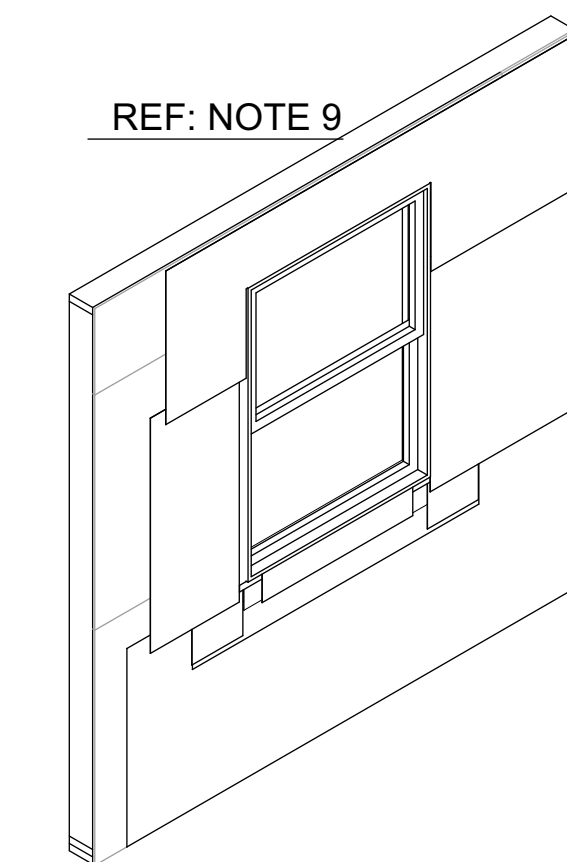
REF: NOTE 8



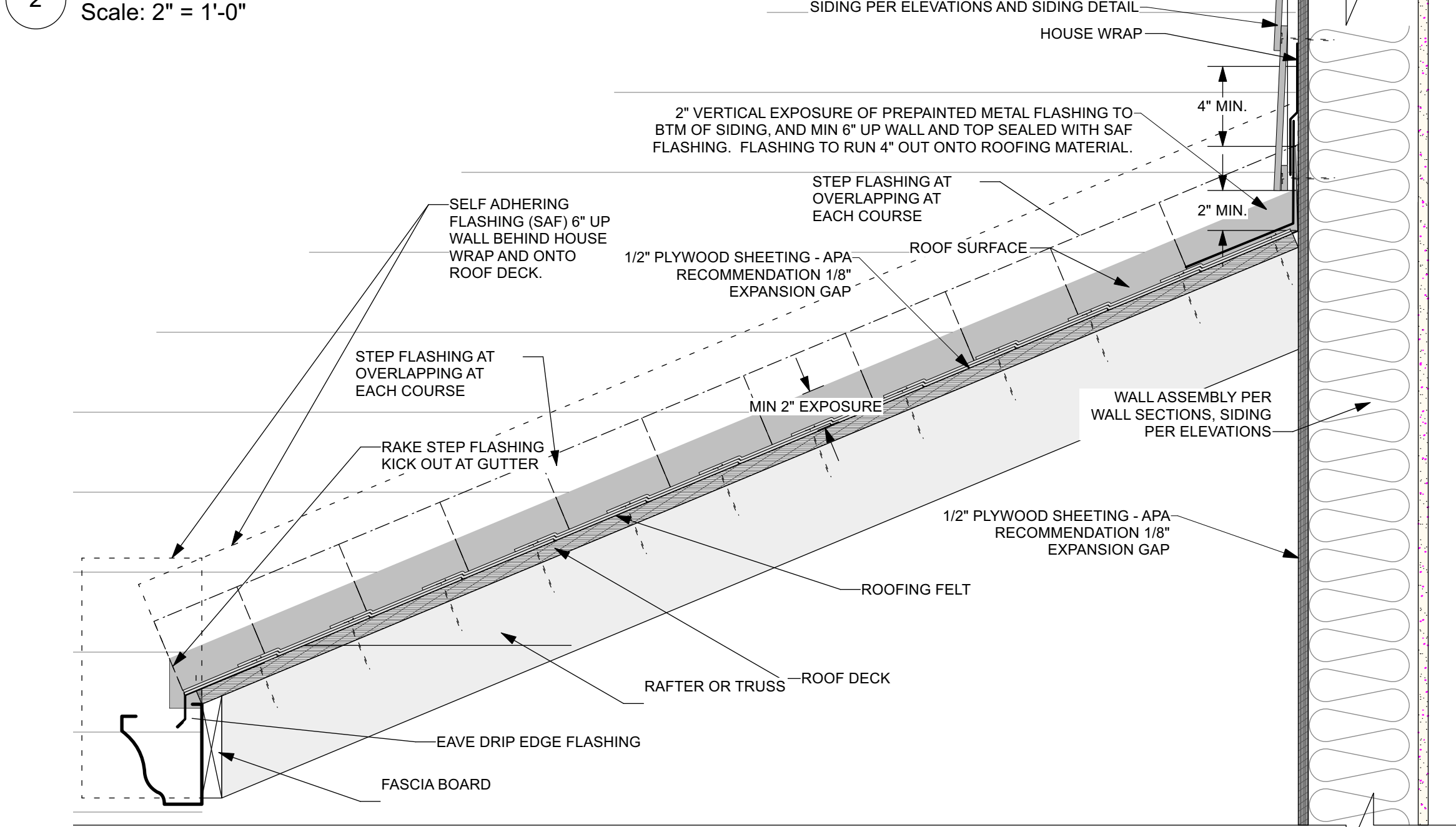
REF: NOTE 5



REF: NOTE 9



2 ROOF FLASHING DETAIL  
Scale: 2" = 1'-0"



**R905.2.2 Slope.** Asphalt shingles shall be used only on roof slopes of two units vertical in 12 units horizontal (2:12) or greater. For roof slopes from two units vertical in 12 units horizontal (2:12) up to four units vertical in 12 units horizontal (4:12), double underlayment application is required in accordance with Section R905.2.7.

**R905.2.3 Underlayment.** Unless otherwise noted, required underlayment shall conform to ASTM D 226 Type I, ASTM D 4869 Type I, or ASTM D 6757.

Self-adhering polymer modified bitumen sheet shall comply with ASTM D 1970.

**R905.2.4 Asphalt shingles.** Asphalt shingles shall comply with ASTM D 225 or D 3462.

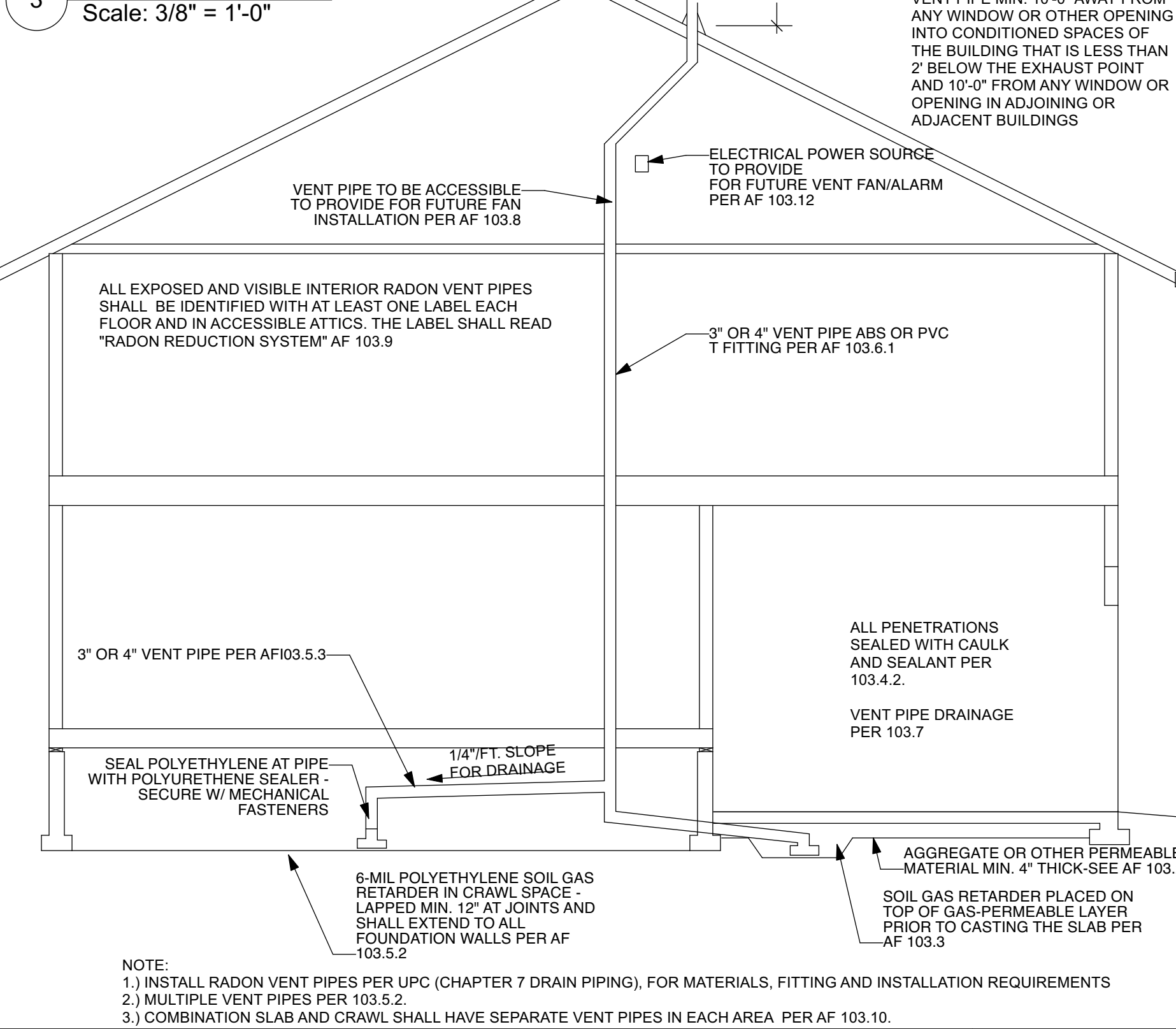
**R905.2.5 Fasteners.** Fasteners for asphalt shingles shall be galvanized steel, stainless steel, aluminum or copper roofing nails, minimum 12 gage [0.105 inch (3 mm)] shank with a minimum 3/8 -inch-diameter (10 mm) head, ASTM F 1667, of a length to penetrate through the roofing materials and a minimum of 3/4 inch (19 mm) into the roof sheathing. Where the roof sheathing is less than 3/4 inch (19 mm) thick, the fasteners shall penetrate through the sheathing. Fasteners shall comply with ASTM F 1667.

**R905.2.6 Attachment.** Asphalt shingles shall have the minimum number of fasteners required by the manufacturer, but not less than four fasteners per strip shingle or two fasteners per individual shingle. Where the roof slope exceeds 2:1 units vertical in 12 units horizontal (2:12), 175-percent slope), shingles shall be installed as required by the manufacturer.

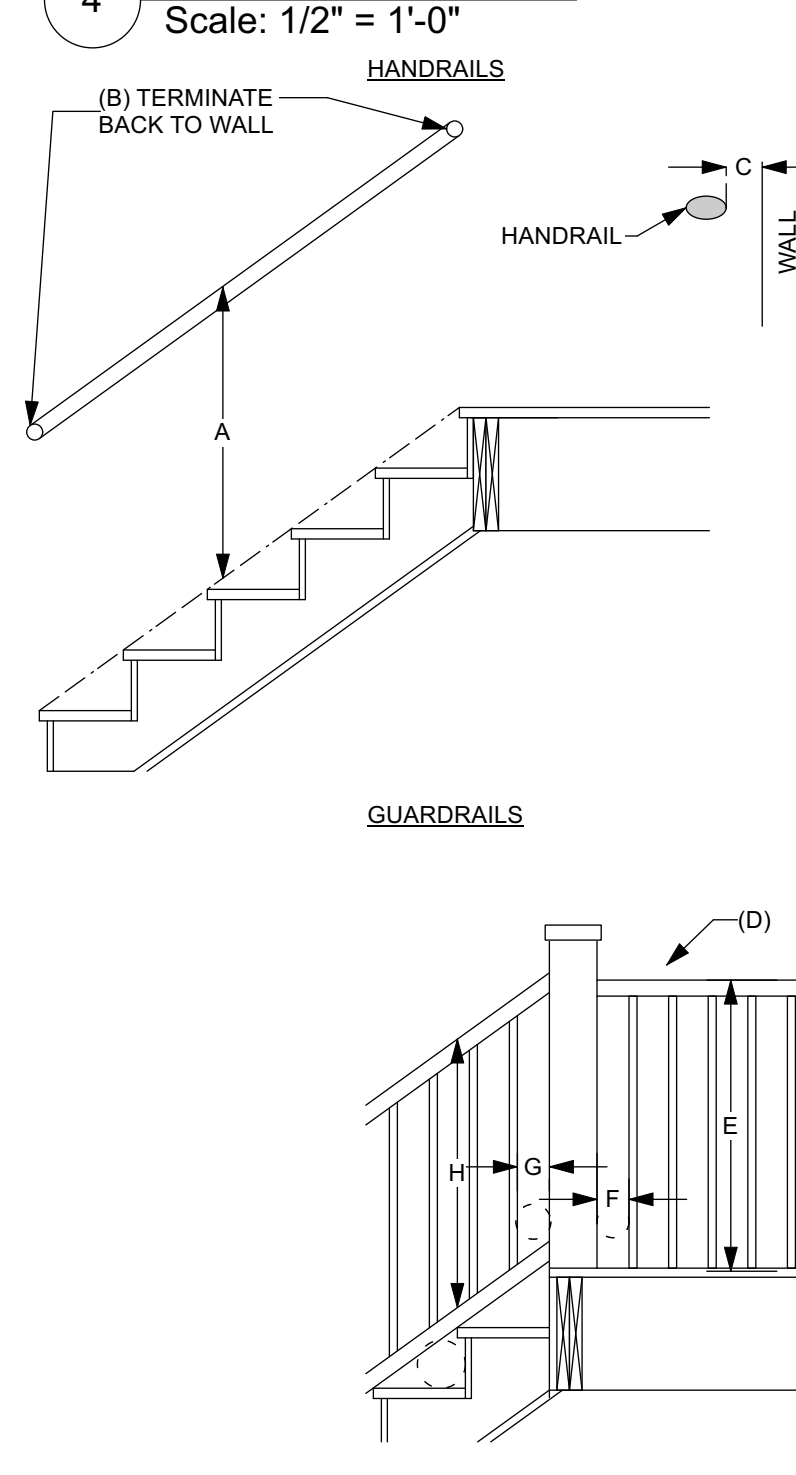
**R905.2.7 Underlayment application.** For roof slopes from two units vertical in 12 units horizontal (17-percent slope), up to four units vertical in 12 units horizontal (33-percent slope), underlayment shall be two layers applied in the following manner. Apply a 19-inch (483 mm) strip of underlayment felt parallel to and starting at the eaves, fastened sufficiently to hold in place. Starting at the eave, apply 36-inch-wide (914 mm) sheets of underlayment, overlapping successive sheets 19 inches (483 mm), and fastened sufficiently to hold in place. Distortions in the underlayment shall not interfere with the ability of the shingles to seal. For roof slopes of four units vertical in 12 units horizontal (33-percent slope) or greater, underlayment shall be one layer applied in the following manner. Underlayment shall be applied shingle fashion, parallel to and starting from the eave and lapped 2 inches (51 mm), fastened sufficiently to hold in place. Distortions in the underlayment shall not interfere with the ability of the shingles to seal. End laps shall be offset by 6 feet (1829 mm).

**R905.2.8 Flashing.** Flashing for asphalt shingles shall comply with this section.

3 RADON DETAIL  
Scale: 3/8" = 1'-0"



4 RAILING DETAIL  
Scale: 1/2" = 1'-0"



2012 IRC Section R311.7.8  
**HANDRAILS**  
 R311.7.8 (Handrails) (A) Handrails having a minimum and maximum heights of 34 inches and 38 inches respectively, measured vertically from the nosing of the treads, shall be provided on at least one side of stairways that have four or more risers. Spiral stairways shall have the required handrail located on the outside radius. All required handrails shall be continuous the full length of the stairs. (B) Ends shall be returned or shall terminate in newel posts or safety terminals. Handrails adjacent to a wall (C) shall have a space of not less than 1 1/2 inch between the wall and the handrail.

Exceptions:  
 1. Handrails shall be permitted to be interrupted by a newel post at a turn.  
 2. The use of a volute, turnout, starting easing or starting newel shall be allowed over the lowest tread.

R311.7.8.3 (Handrail grip size) Handrails shall have either a circular cross section with a diameter of 1 1/4 inches to 2 inches, or a noncircular cross section with a perimeter dimension of at least 4 inches but not more than 6 1/2 inches and a largest cross section dimension not exceeding 2 1/4 inches.

**R311.7.9 ILLUMINATION**  
 All stairs shall be provided with illumination in accordance with Section R303.6.

**GUARDRAILS**  
 R312.1.1 (Guards) (D) Guards shall be provided along open-sided walking surfaces or ground surfaces, mezzanines, industrial equipment platforms, retaining walls, stairways, ramps, landings and any other locations that are located more than 30 inches above the floor or grade below (E) shall have guards not less than 36 inches in height measured vertically above the adjacent walking surface. Porches and decks which are enclosed with insect screening shall be equipped with guards where the walking surface is located more than 30 inches from the floor or grade below.

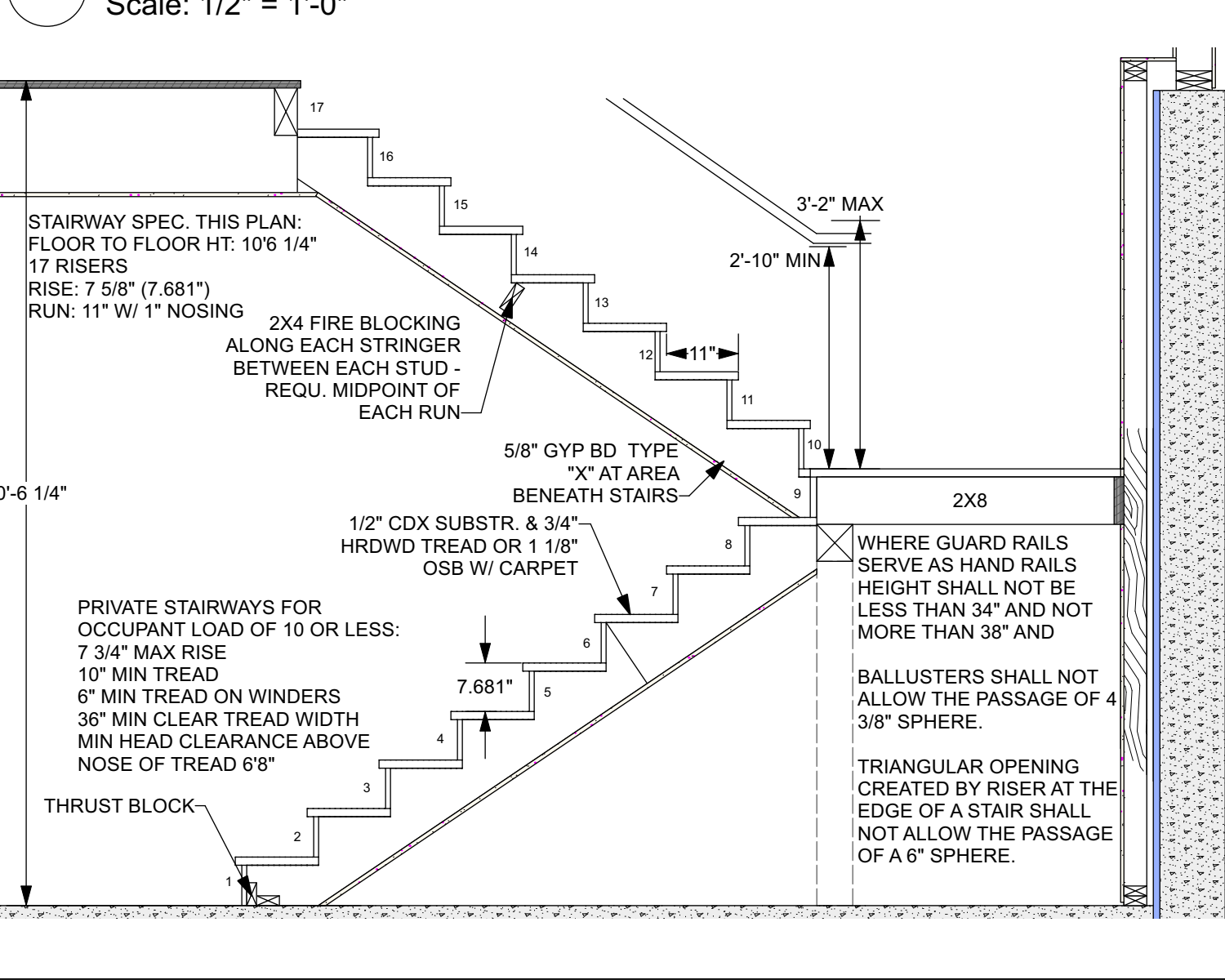
R312.1.2 (Guardrail opening limitations) (F) required guards on open sides of stairways, raised floor areas, balconies and porches shall have intermediate rails or ornamental closures which do not allow passage of a sphere 4 inches or more in diameter. (G) Spindles at stairway to be spaced such that a 4 3/8" sphere will not pass through when located on side of stairs.

Exceptions:  
 1. The triangular openings formed by the riser, tread and bottom rail of a guard at the open side of a stairway may be of such a size that a sphere 6 inches cannot pass through.  
 2. Openings for required guards on the sides of stair treads shall not allow a sphere 4 3/8" inches to pass through.

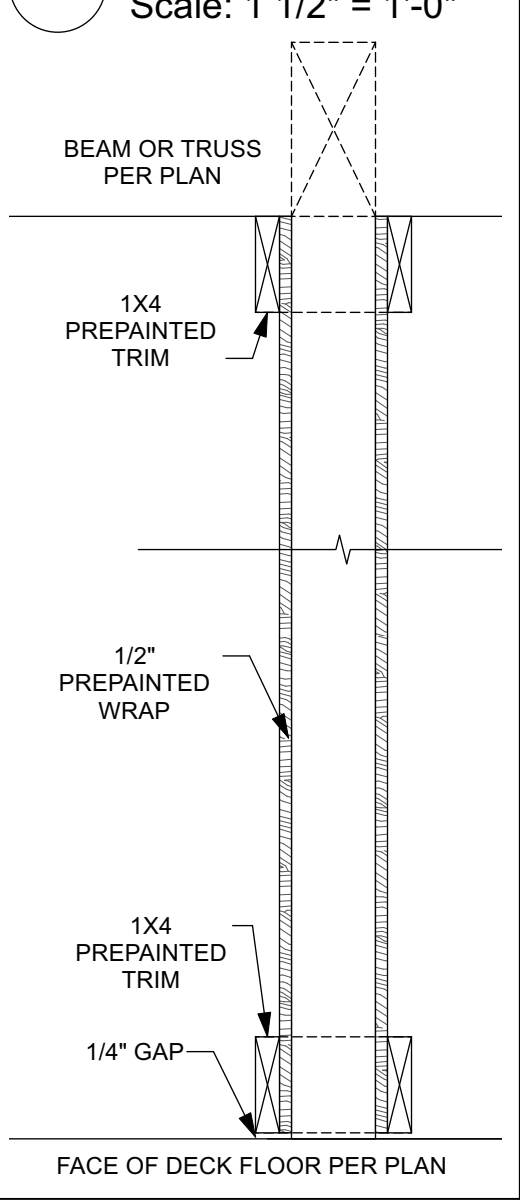
**METAL AND GLASS RAILING SYSTEMS**  
 Concentrated load in any given direction at any point along the top shall be designed to withstand a min. of uniformly distributed live load = 200 PSF and comply with IBC Sec. 1012.

Manufacturer specifications are by others and to be attached to this plans set as an addendum.

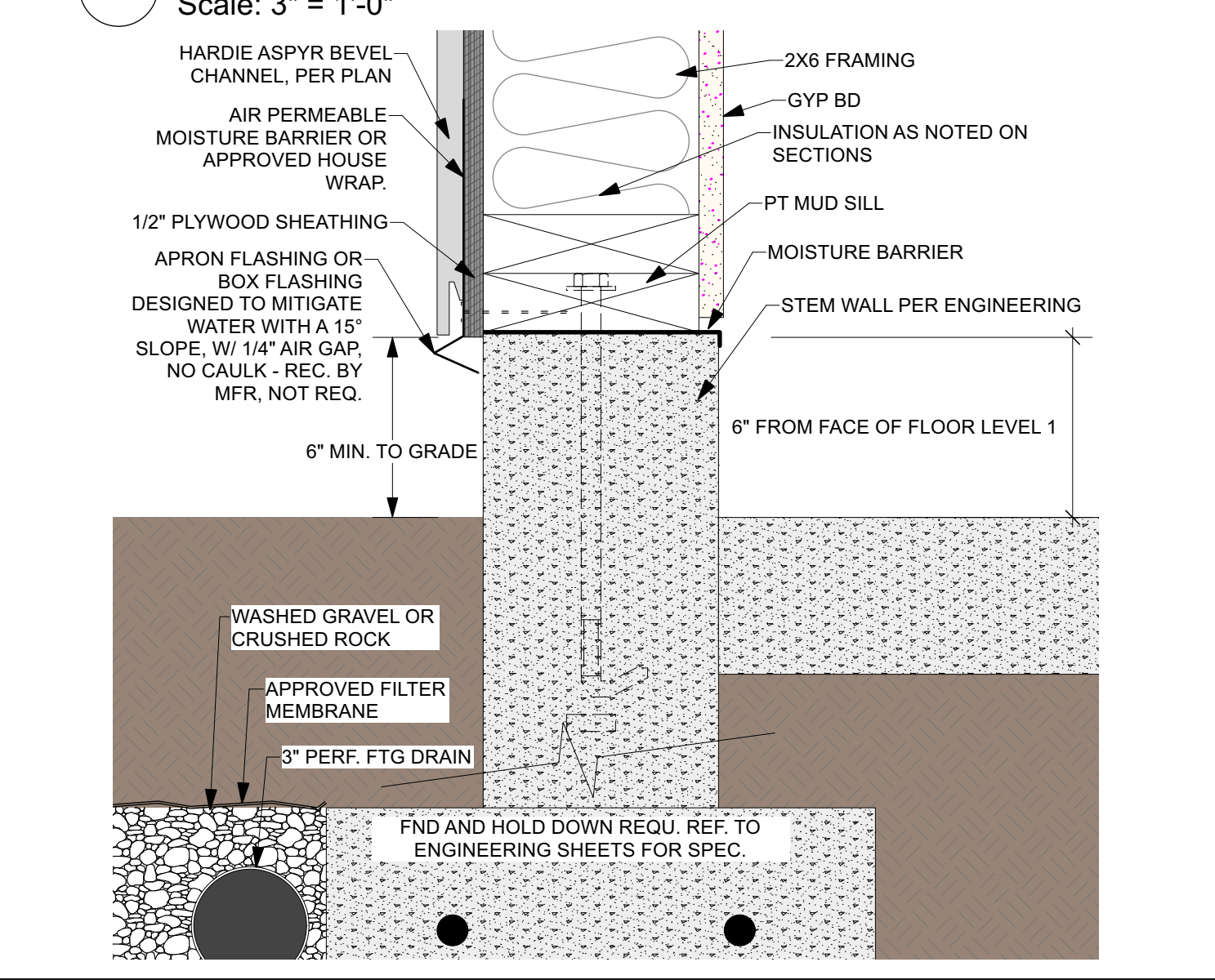
5 STAIR DETAIL  
Scale: 1/2" = 1'-0"



6 POST DETAIL  
Scale: 1 1/2" = 1'-0"



7 GARAGE SLAB FOUNDATION  
Scale: 3" = 1'-0"



FILE: EP8 09.13.23 FINAL.vwx  
 VERSION: FINAL  
 SUBMISSION DATE: 09.13.23  
 SHEET SIZE: ARCH D - 36X24

SHEET DIRECTORY

A-00	COVER SHEET
A-01.1	ELEVATIONS
A-01.2	ELEVATIONS
A-02.1	LEVEL 1 FLOOR PLAN
A-02.2	BASEMENT PLAN
A-03	FND
A-04	ROOF
A-05	LEVEL 1 FLOOR FRAMING
A-06	SECTIONS
A-07.1	DETAILS
A-07.2	DETAILS
A-07.3	DETAILS
A-08	LOT ELEVATIONS

ECOLA POINT - LOT 8

Invalus Red, Llc.  
 Jim Christensen - Email: jim@invalus.com / 425-372-6632  
 Po Box 513 Preston, Wa 98050  
 Ecologia Point Subdivision 8  
 Site: Monica Ct Lot 8, Cannon Beach, OR 97110  
 Tax: 51020B000008  
 Builder: Haggart Luxury Homes  
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 Designer: Blondino Design, Inc.  
 Contact: Mike Blondino / Email: M.blondino@blondinodesign.com / Phone: 360-513-4794

DETAILS

A-07.1

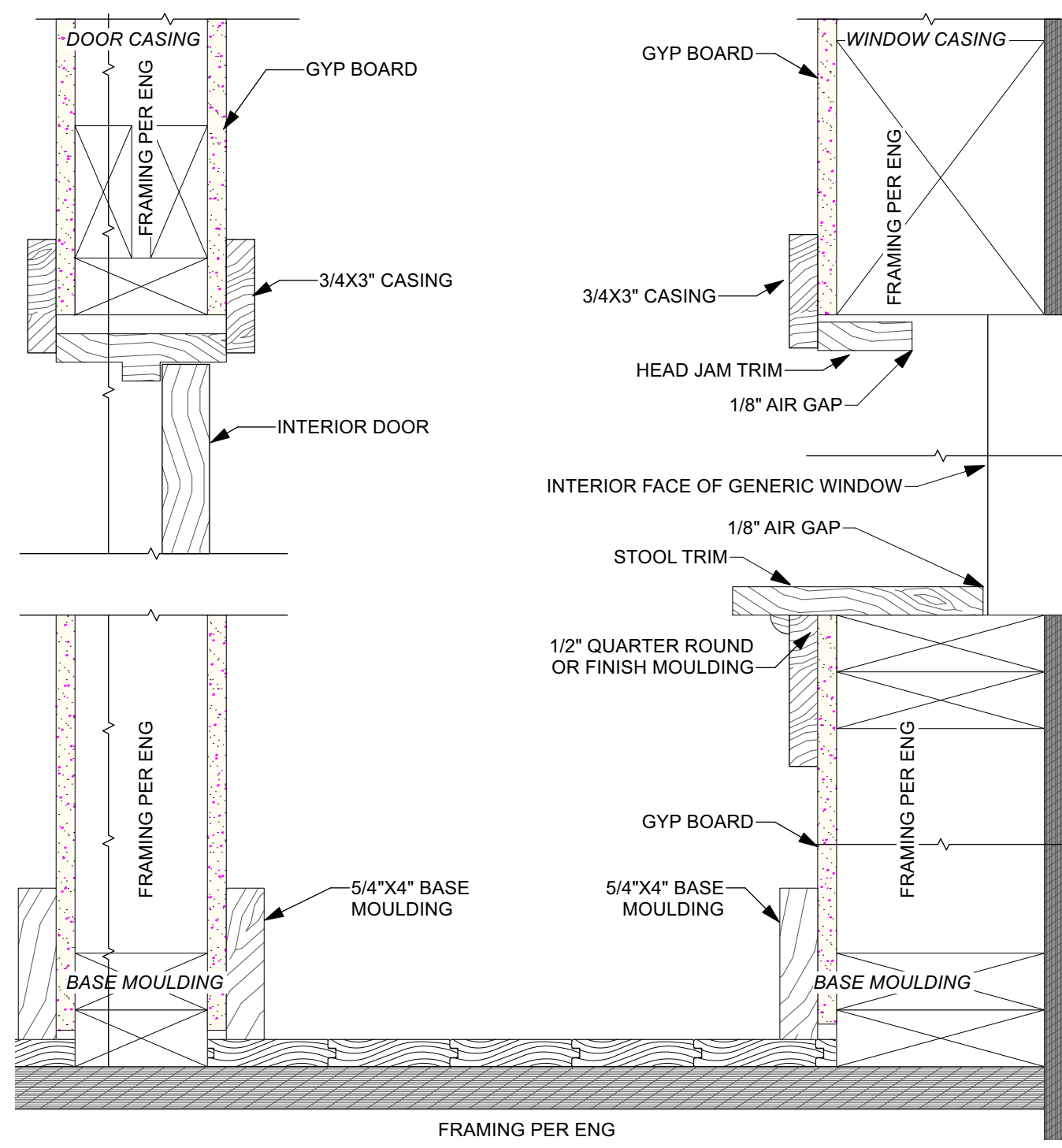
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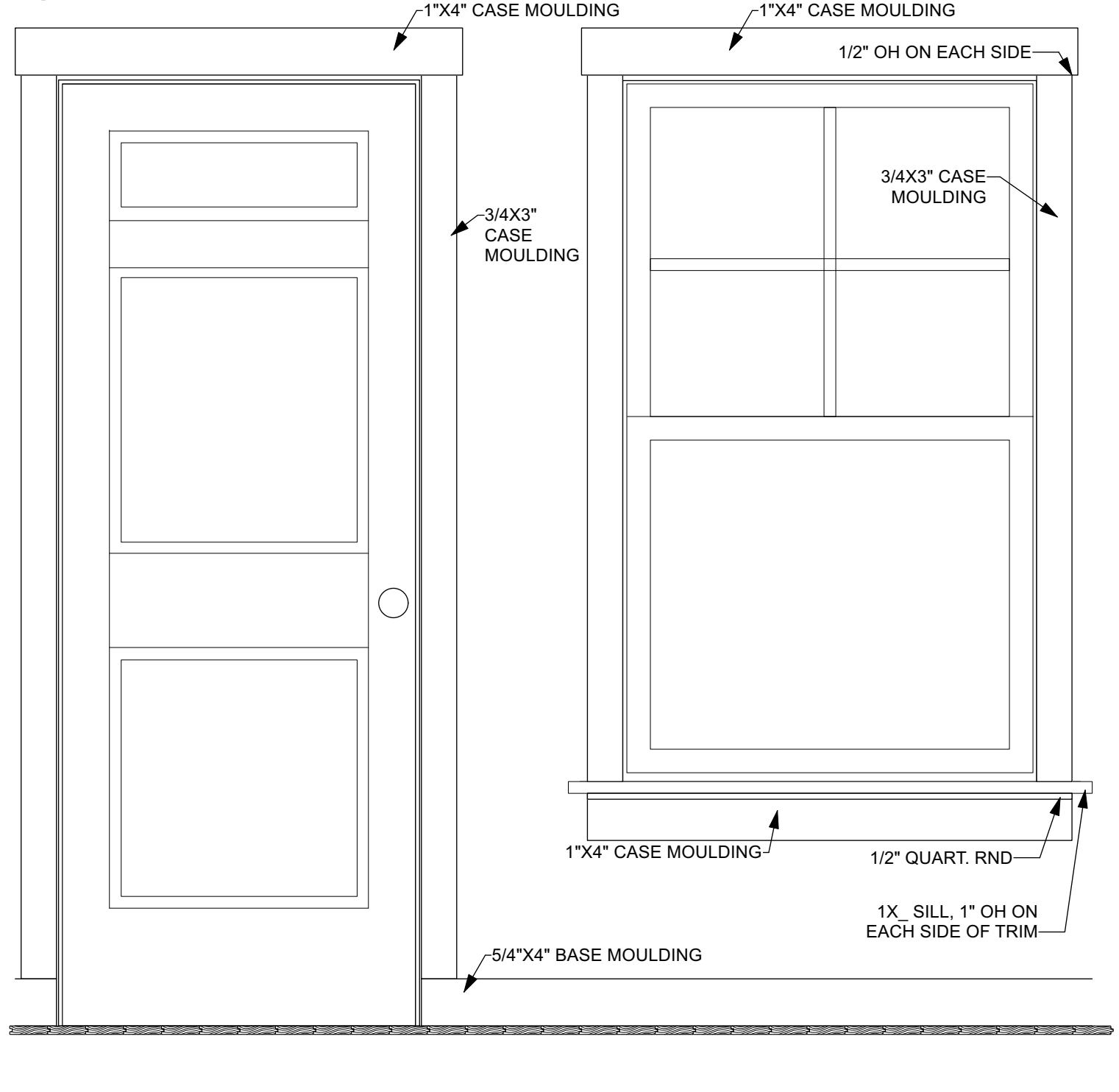
1719 NW 43rd Ave  
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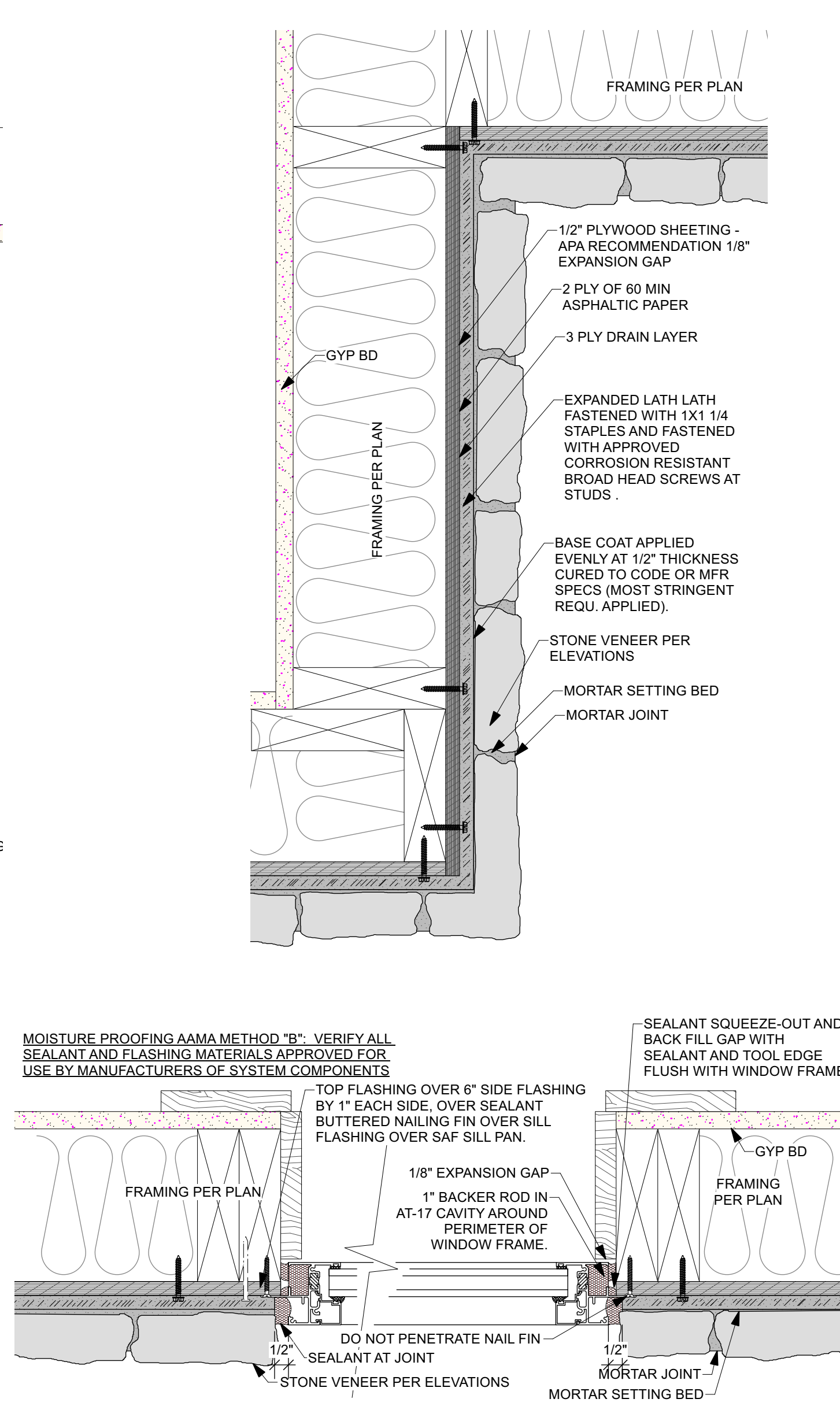
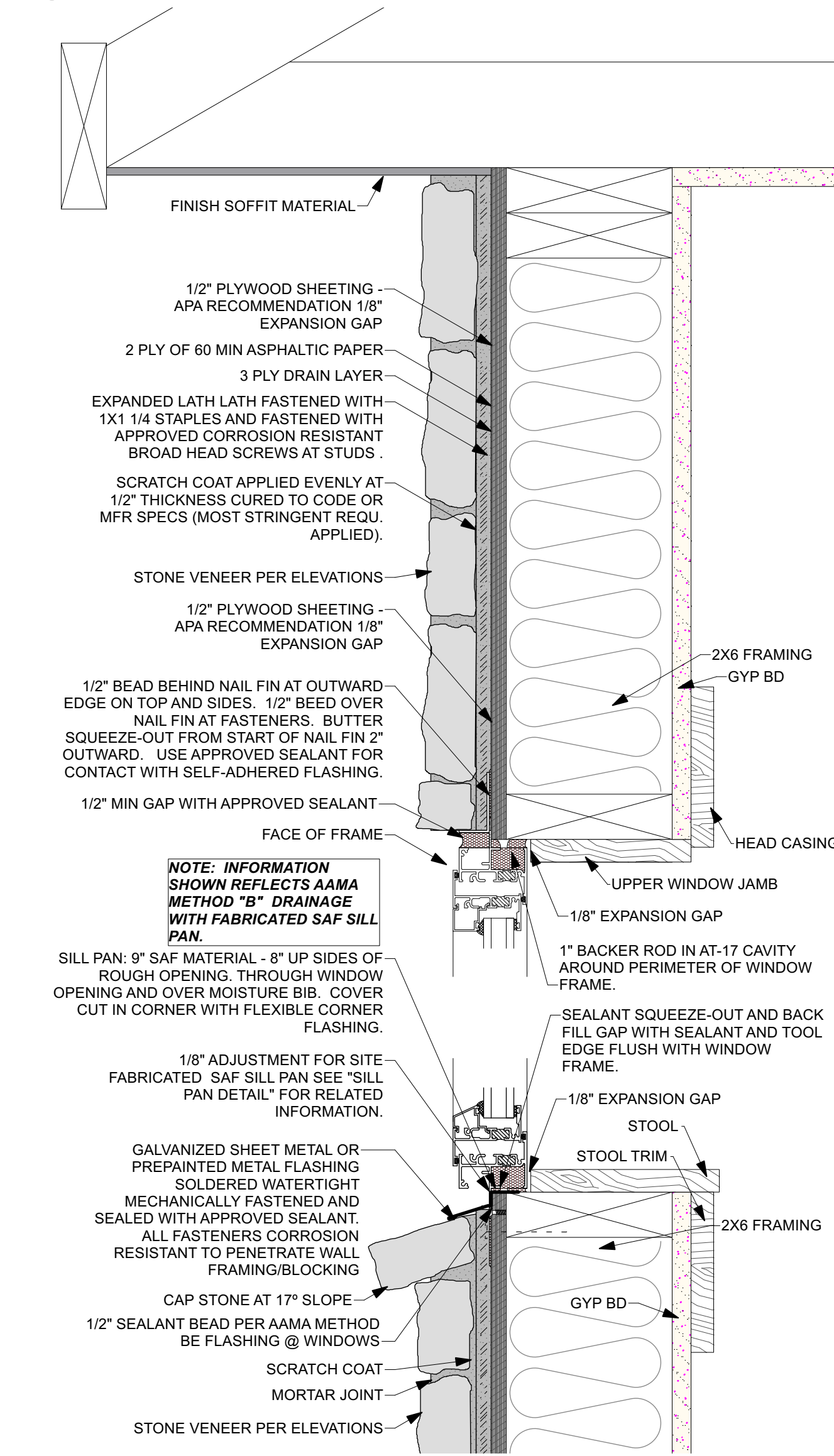
**1 TRIM SECTION**  
Scale: 3" = 1'-0"



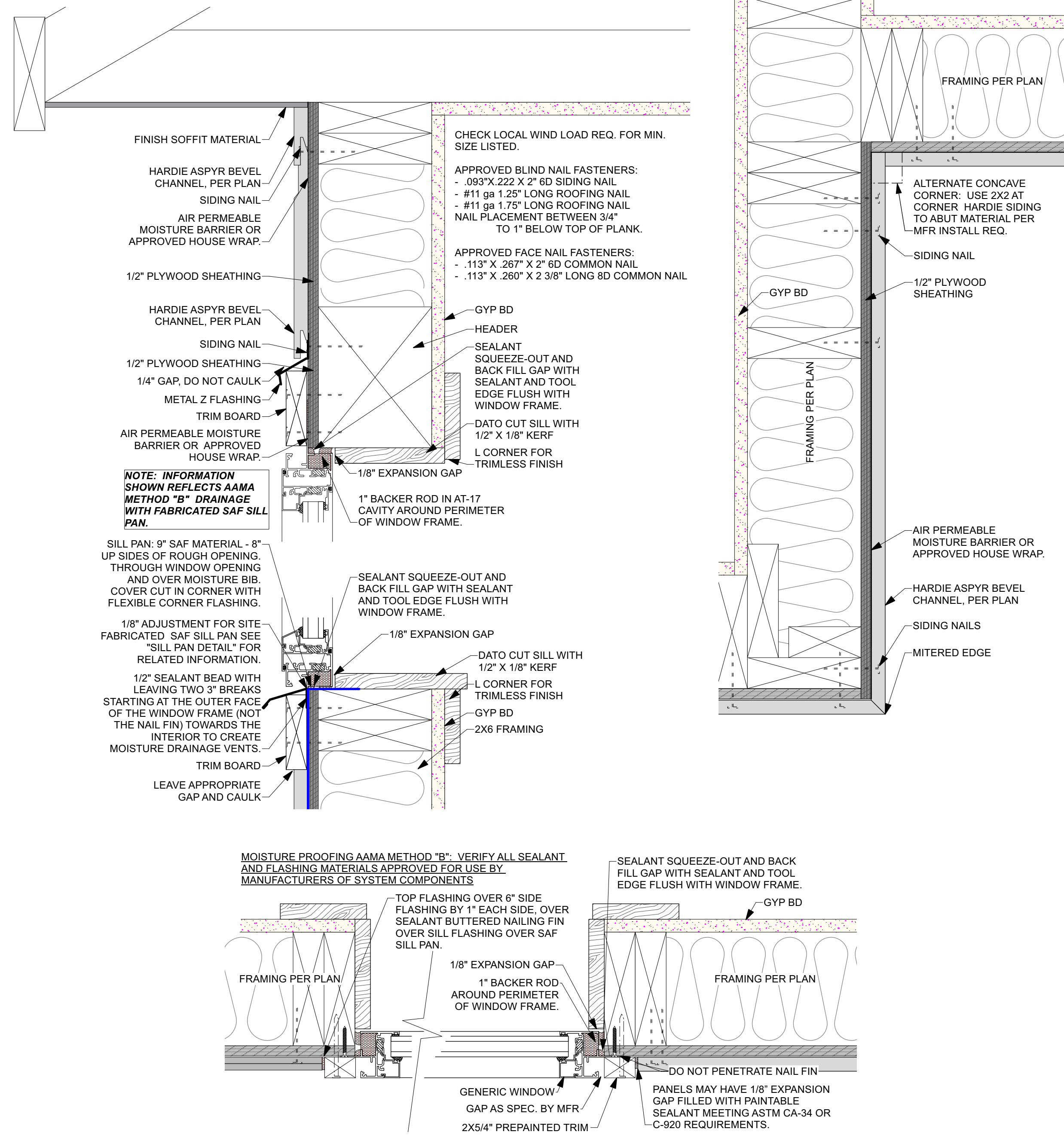
**2 INTERIOR TRIM DETAIL**  
Scale: 1" = 1'-0"



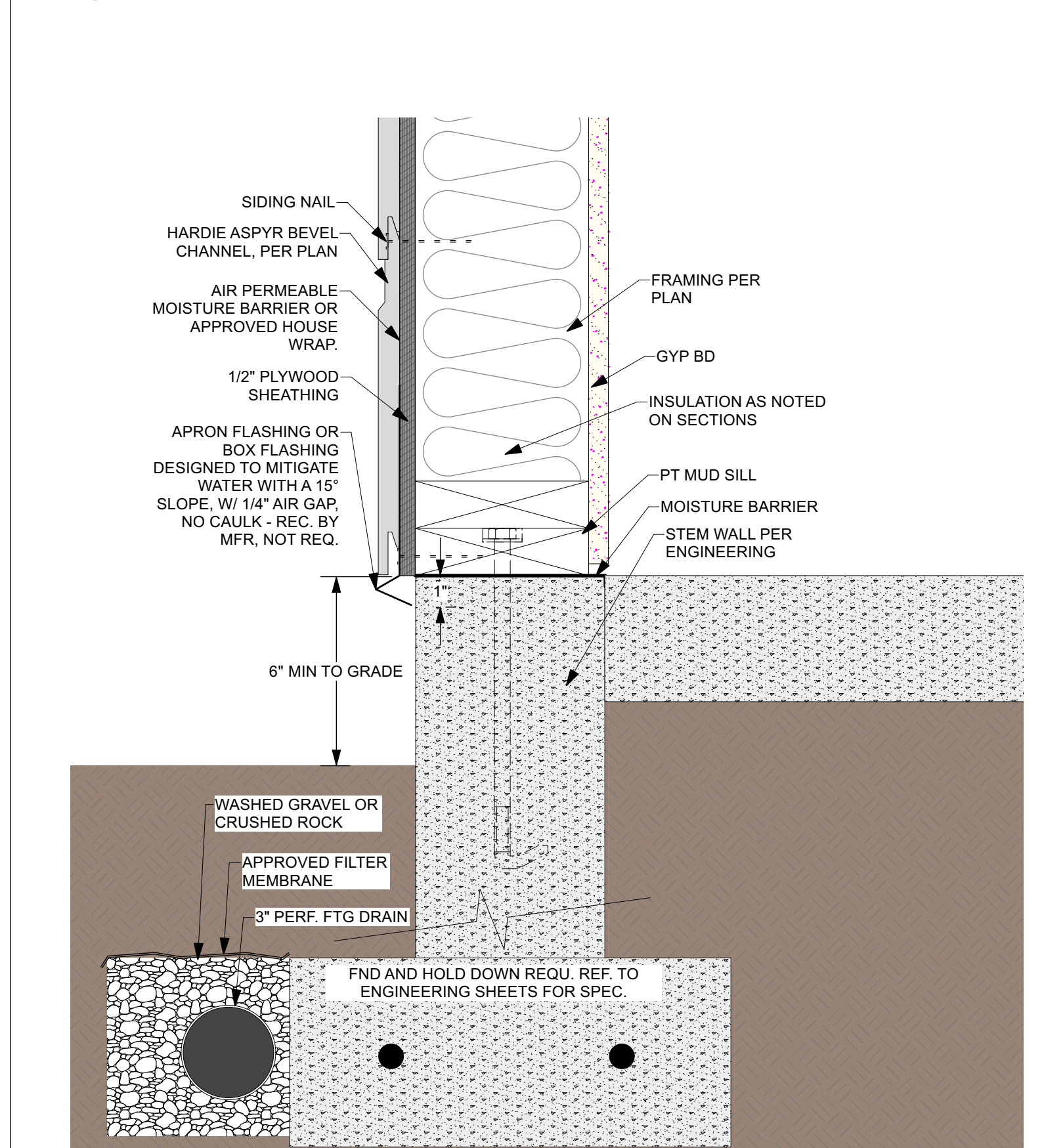
**4 STONE VENEER SIDING DETAILS**  
Scale: 3" = 1'-0"



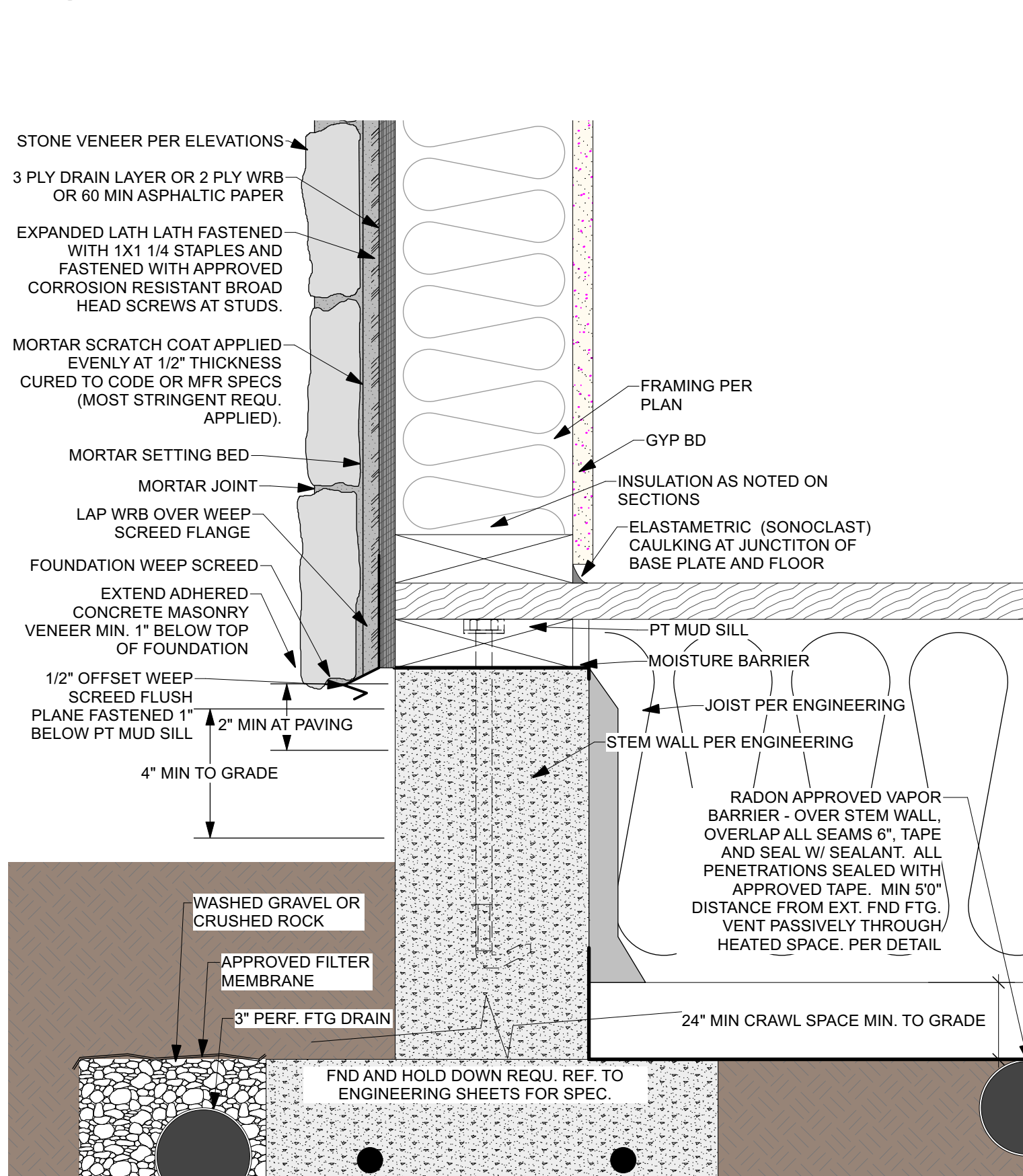
**3 HARDIE ASPYRE SIDING DETAILS**  
Scale: 3" = 1'-0"



**5 BASEMENT SLAB FOUNDATION**  
Scale: 3" = 1'-0"



**6 HUNG JOIST FOUNDATION**  
Scale: 3" = 1'-0"



FILE:  
EP8 09.13.23 FINAL.vwx  
VERSION:  
FINAL  
SUBMISSION DATE:  
09.13.23  
SHEET SIZE:  
ARCH D - 36X24

**SHEET DIRECTORY**

- A-00 COVER SHEET
- A-01.1 ELEVATIONS
- A-01.2 ELEVATIONS
- A-02.1 LEVEL 1 FLOOR PLAN
- A-02.2 BASEMENT PLAN
- A-03 FND
- A-04 ROOF
- A-05 LEVEL 1 FLOOR FRAMING
- A-06 SECTIONS
- A-07.1 DETAILS
- A-07.2 DETAILS
- A-07.3 DETAILS
- A-08 LOT ELEVATIONS

**ECOLA POINT - LOT 8**

Invalus Red, Llc.  
Jim Christensen - Email: jim@invalus.com / 425-372-6632  
Contact: Po Box 513 Preston, Wa 98050  
Address: Ecola Point Subdivision 8  
Legal: Monica Ct Lot 8, Cannon Beach, OR 97110  
Site: 510205C000508  
Tax: Haggart Luxury Homes  
Builder: Jeff Haggart - Jeff@haggarthomes.com / 503-654-2030 / 503-793-4131  
Contact: Acute Engineering, Inc.  
Engineer: Brandon Decker - brandon@acuteengineering.com / 801-229-9020  
Designer: Blondino Design, Inc.  
Contact: Mike Blondino / Email: M.blondino@blondinodesign.com / Phone: 360-513-4794

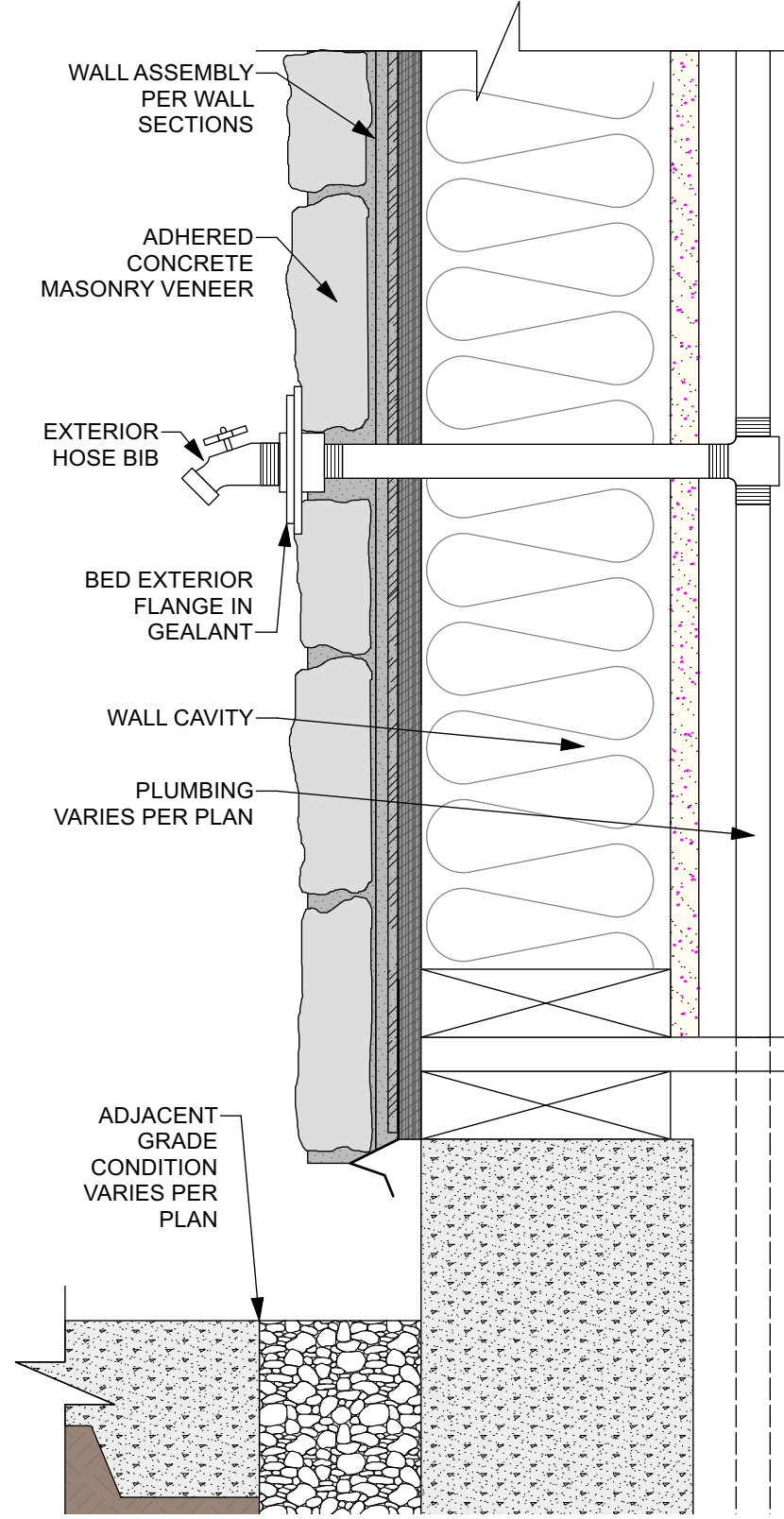
**DETAILS**  
**A-07.2**

Scale: AS NOTED

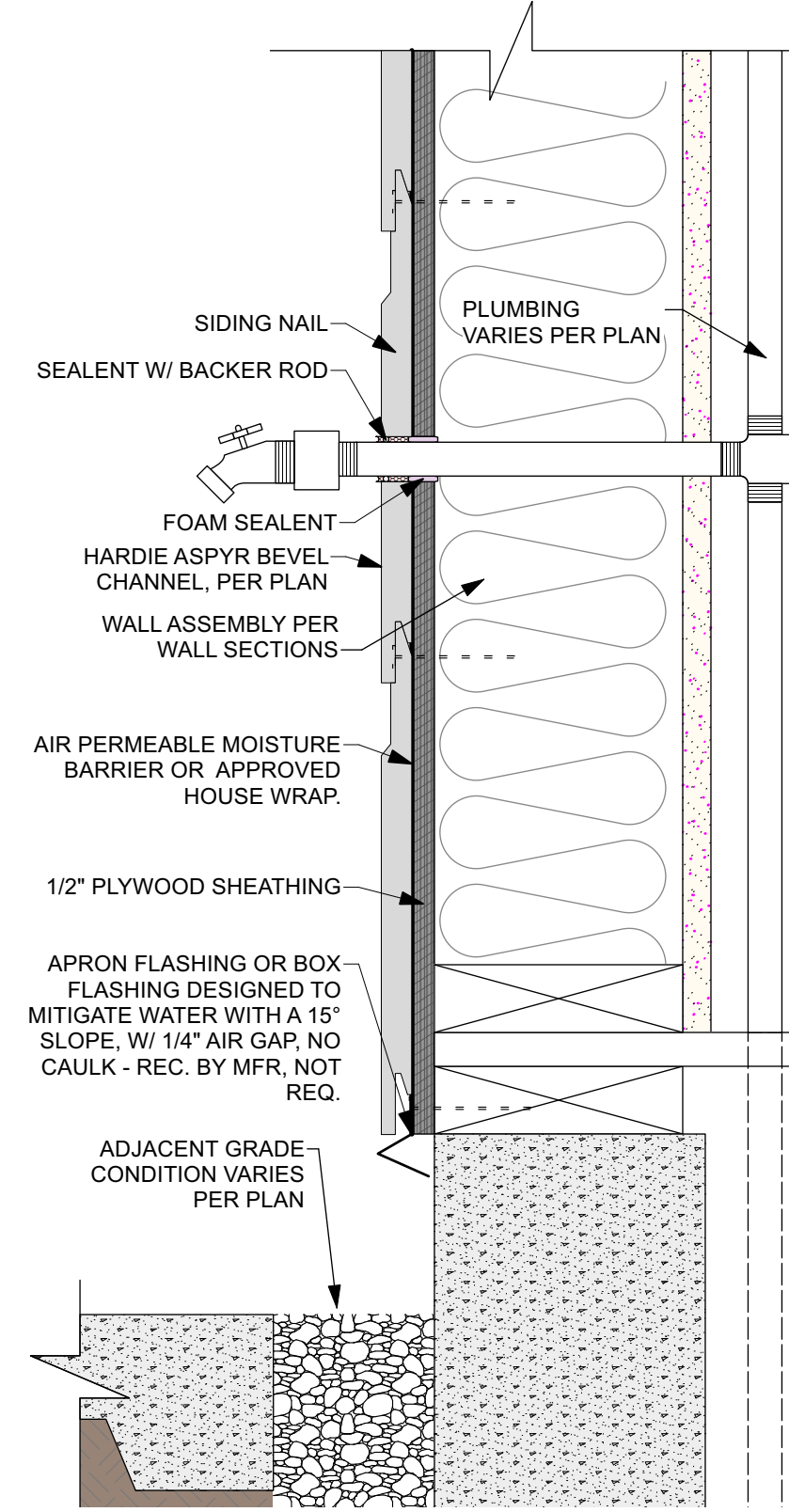


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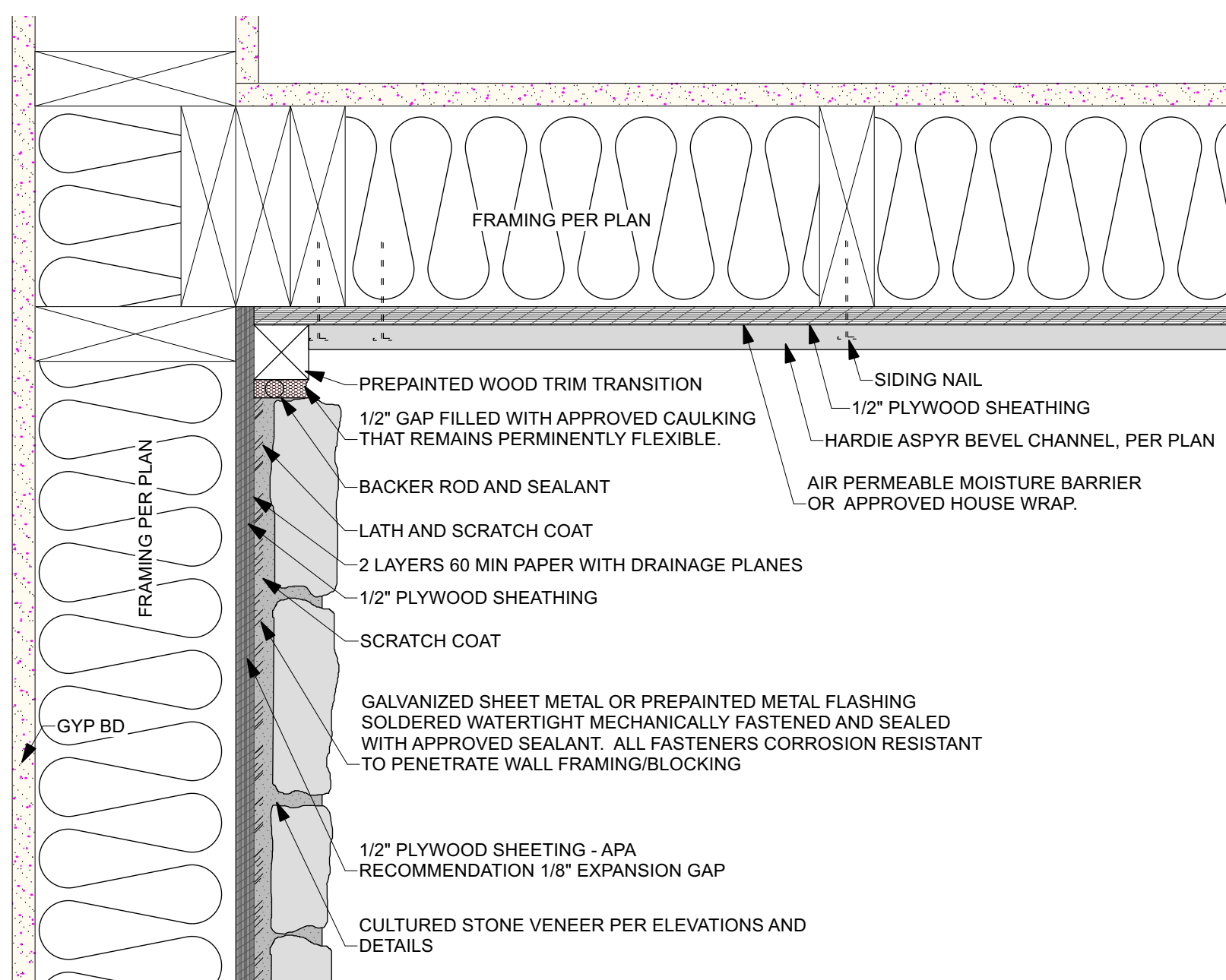
**1 STONE WALL PENETRATION**  
Scale: 3" = 1'-0"



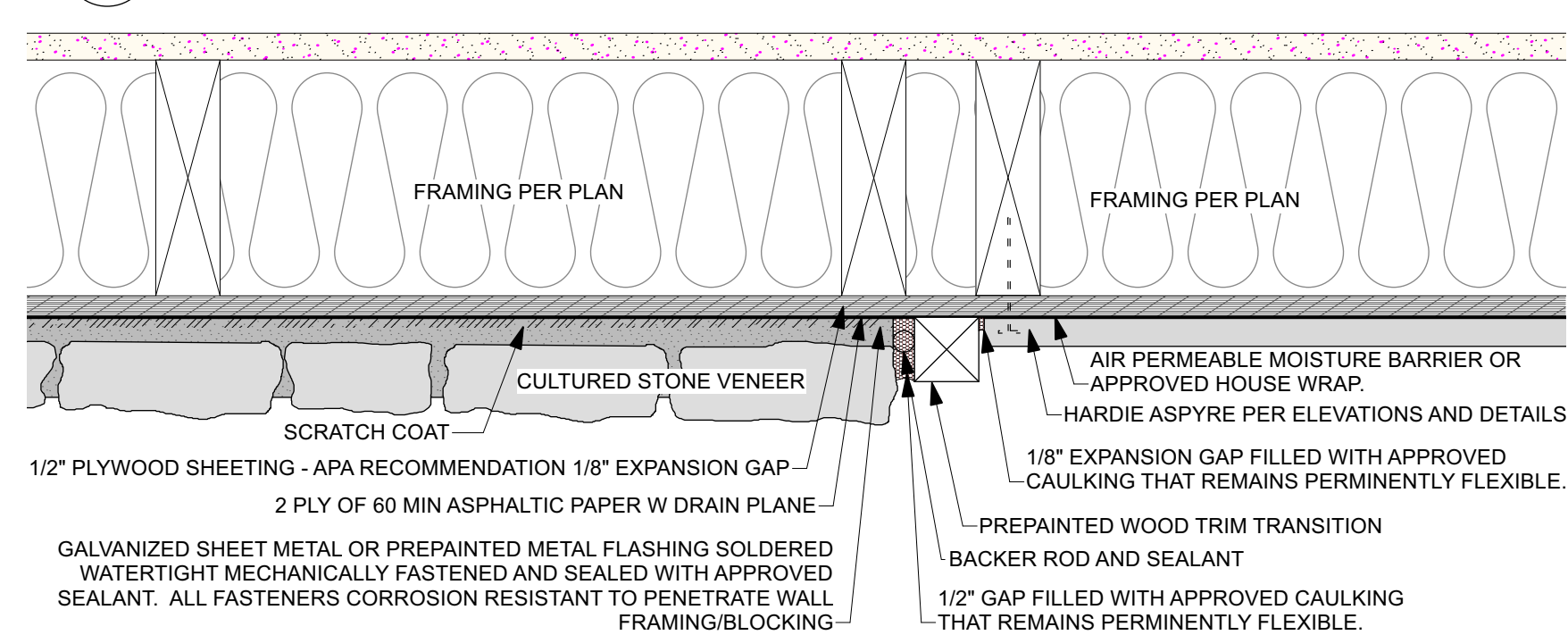
**2 ASYPRE WALL PENETRATION**  
Scale: 3" = 1'-0"



**3 HARDIE ASYPRE TO STONE CORNER TRANSITION**  
Scale: 3" = 1'-0"



**4 HARDIE ASYPRE TO STONE LATERAL TRANSITION**  
Scale: 3" = 1'-0"



FILE:  
EP8 09.13.23 FINAL.vwx  
VERSION:  
FINAL  
SUBMISSION DATE:  
09.13.23  
SHEET SIZE:  
ARCH D - 36X24

**SHEET DIRECTORY**

A-00	COVER SHEET
A-01.1	ELEVATIONS
A-01.2	ELEVATIONS
A-02.1	LEVEL 1 FLOOR PLAN
A-02.2	BASEMENT PLAN
A-03	FND
A-04	ROOF
A-05	LEVEL 1 FLOOR FRAMING
A-06	SECTIONS
A-07.1	DETAILS
A-07.2	DETAILS
A-07.3	DETAILS
A-08	LOT ELEVATIONS

**ECOLA POINT - LOT 8**

Owner: Invalus Red, Llc.  
Contact: Jim Christensen - Email: jim@invalus.com / 425-372-6632  
Address: Po Box 513 Preston, Wa 98050  
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Site: Monica Ct Lot 8, Cannon Beach, OR 97110  
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Designer: Blondino Design, Inc.  
Contact: Mike Blondino / Email: M.blondino@blondinodesign.com / Phone: 360-513-4794

**DETAILS**

**A-07.3**

Scale: AS NOTED



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